



149 0 74 149Feet

Scale 1:892



198 0 99 198Feet

Scale 1: 1,189

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 4/17/2013

**SBS DRIVE-THRU SITE NOTE:**

- 1) ALL McDONALD'S SITE AND DRIVE-THRU STANDARDS AND DESIGN TOLERANCES HAVE BEEN FOLLOWED IN THE DESIGN DEVELOPMENT, AND ARE TO BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROCESS OF THIS SITE.
- 2) SHEETS CP1 (SBS DRIVE-THRU COORDINATE PLAN) AND CP2 (MCD'S USA SBS DRIVE-THRU REFERENCE STANDARDS) WILL BE PROVIDED TO ACF14 AND CONTRACTORS FOR LAYOUT AND CONSTRUCTION.
- 3) CONTRACTOR IS ADVISED TO PROVIDE SBS DRIVE-THRU EQUIPMENT PICK-UP PRIOR TO CONSTRUCTION. COORDINATE FINAL LAYOUT WITH OWNER/OPERATOR.
- 4) REFER TO U.S. RESTAURANT DESIGN "SITE PLANNING GUIDE" V3.0 (OR LATEST VERSION) FOR "DESIGN IT RIGHT, BUILD IT RIGHT" SITE STANDARDS.

**EXISTING SITE NOTE:**

EVERYTHING SHOWN ON THIS SITE PLAN IS EXISTING EXCEPT THAT AREA "CLOUDED" FOR DRIVE-THRU ORDERING MODIFICATIONS, OR UNLESS OTHERWISE NOTED.

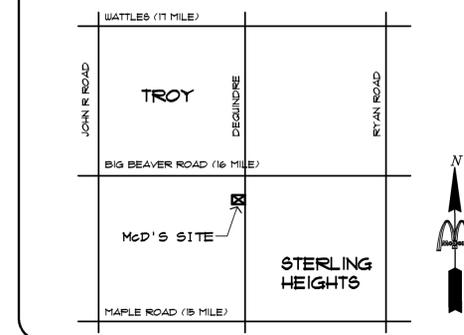
**COMPATIBILITY STATEMENT:**

COMPATIBILITY STATEMENT PER SECTION 9.03 OF ZONING ORDINANCE:  
 THIS McDONALD'S WAS CONSTRUCTED IN 1990 WITH A DRIVE-THRU, AND IN 1999 A PLAYPLACE WAS ADDED ALONG THE FRONT ELEVATION. THE WORK BEING PROPOSED AT THIS TIME INVOLVES EXTERIOR AND INTERIOR RENOVATIONS OF THE RESTAURANT ALONG WITH A RECONFIGURATION OF THE DRIVE-THRU ORDERING TO ACCOMMODATE DUAL-ORDERING, AKA. SIDE-BY-SIDE ORDERING, TO IMPROVE EFFICIENCY AND GUEST EXPERIENCE.  
 THE USE OF THE BUILDING AND SITE WILL REMAIN AS WAS INITIALLY APPROVED IN 1990, AND THERE IS NO INTENT TO CHANGE THE USE OF THE BUILDING OR SITE. WE BELIEVE OUR SPECIAL USE REQUEST IS COMPATIBLE WITH SECTION 9.03 SPECIAL USE STANDARDS WITH RESPECT TO COMPATIBILITY WITH ADJACENT USES AND MASTER PLAN TRAFFIC IMPACT. IMPACT ON PUBLIC SERVICES, COMPLIANCE WITH ZONING ORDINANCE IMPACT ON THE OVERALL ENVIRONMENT, AND MEETS SPECIAL USE APPROVAL SPECIFIC REQUIREMENT.

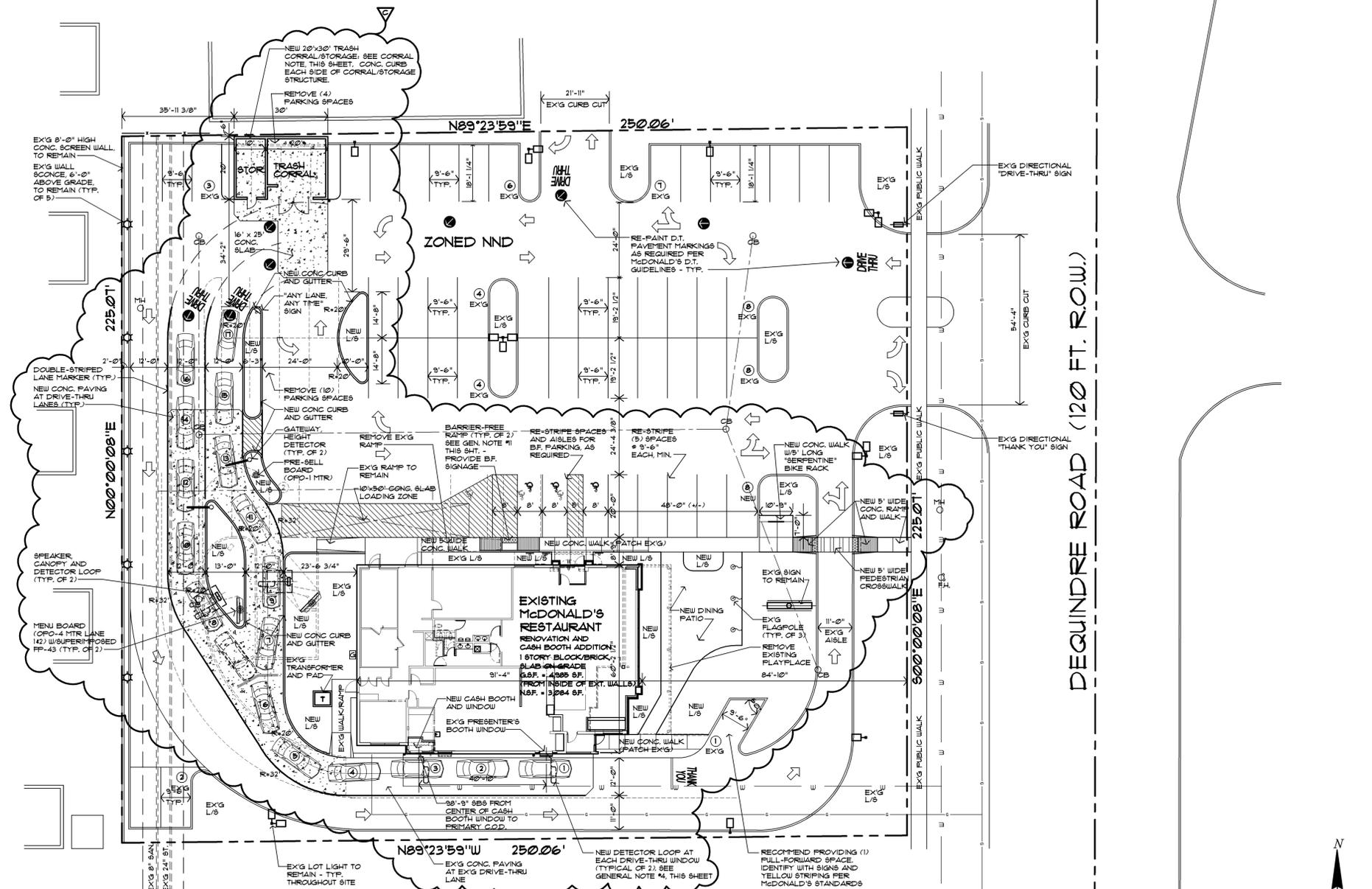
**LEGAL DESCRIPTION**

IN THE CITY OF TROY, OAKLAND COUNTY, MICHIGAN, COMMENCING AT THE SOUTHWEST CORNER OF OUTLOT 4 OF "YORKSHIRE SUBDIVISION" AS RECORDED IN LIBER 19 OF PLATS PAGE 21, OAKLAND COUNTY RECORD, THENCE ALONG THE EAST LINE OF SAID OUTLOT 4 (WEST LINE OF DEQUINDRE ROAD) 120 FEET WIDE) N00°00'00"W, 15.03 FEET TO A T-IRON STAKE ON THE NORTH LINE OF THE SOUTH 75.03 FEET OF SAID OUTLOT 4, BEING THE POINT OF BEGINNING OF THIS DESCRIPTION, THENCE PARALLEL WITH THE SOUTH LINE OF SAID OUTLOT 4 S89°23'59"W, 250.06 FEET TO A T-IRON STAKE ON THE EAST LINE OF SAID OUTLOT 4 (WEST LINE OF DEQUINDRE ROAD) S00°00'00"E, 225.01 FEET TO THE POINT OF BEGINNING, BEING THE NORTH 225.06 FEET OF THE S300'00" FEET OF OUTLOT 4 OF "YORKSHIRE SUBDIVISION" AND BEING A PART OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 11 EAST. THE ABOVE DESCRIBED PROPERTY CONTAINS 1.92 ACRES (86,215 SQUARE FEET).

**LOCATION MAP**  
NO SCALE

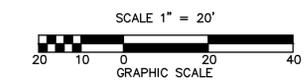


ZONED NND



ZONED NND

DEQUINDRE ROAD (120 FT. R.O.W.)



**GENERAL NOTES**

1. McDONALD'S ROAD SIGN: EXISTING.
2. ALL SITE WORK SHALL BE ACCORDING TO McDONALD'S STANDARDS.
3. ALL LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING ARE EXISTING. IF OTHERWISE NOTED AS NEW OR RELOCATED, LOT LIGHTING SHALL MATCH EXISTING AND BE INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR.
4. EACH DRIVE-THRU WINDOW TO BE PROVIDED WITH DETECTOR LOOP. VERIFY IN FIELD THE EXISTENCE OF THE DETECTOR LOOPS. SAWCUT EXISTING SLAB AND REPLACE OR PROVIDE NEW WHERE NECESSARY. TIE INTO EXISTING ELECTRICAL LOOP DETECTOR SYSTEM.
5. ALL NEW LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
6. GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
7. REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS, IF APPLICABLE.
8. N/A
9. CORRAL TO BE 6" HIGH, BRICK (TO MATCH BUILDING) W/ FOOTINGS TO EXTEND BELOW FROSTLINE (42" MINIMUM). CORRAL TO HAVE (1) ONE SET OF GATES MADE OF 6"-0" HIGH FENCE W/ COMPOSITE VERT. BOARDS, HINGED TO CONCRETE FILLED 6" DIA. GUARD POSTS. SEE SHEET C6 AND REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
10. ALL RADII NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
11. BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE AND BARRIER-FREE WARNING INSERTS - TYPICAL.
12. ALL PAINTED DIRECTIONAL ARROWS AND SYMBOLS TO BE WHITE AND TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND McDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA: NET SITE AREA (EXCLUDES R.O.W.):	56,279 S.F. OR 1.292 ACRES
ZONING CLASSIFICATION:	NND NEIGHBORHOOD NODE
ADJACENT ZONING:	NND NEIGHBORHOOD NODE R1-E ONE-FAMILY RESIDENTIAL
STREET TYPE (MAJOR NORTH/SOUTH & EAST/WEST):	"A"
SITE TYPE (HIGH-INTENSITY RETAIL):	"A"
BUILDING FORM:	"A"
GROSS BUILDING AREA (FROM INTERIOR):	4,985 S.F.
NET USABLE FLOOR AREA:	3,084 S.F.
BUILDING SETBACKS PROVIDED:	
FRONT YARD SETBACK:	89 FEET, 10 INCH
SIDE YARD SETBACK (SOUTH):	27 FEET
SIDE YARD SETBACK (NORTH):	133 FEET, 8 INCHES
REAR YARD SETBACK:	75 FEET, 2 INCHES
PARKING REQUIRED:	
1 SPACE / 70 S.F. NET FLOOR AREA	44 SPACES
3,084 S.F. / 70 S.F. = 44.05 SPACES -OR- 44 SPACES	
TOTAL PARKING REQUIRED	44 SPACES
NUMBER OF H.C. SPACES REQUIRED = 2 SPACES	
20% EXTRA PARKING = 43 x 1.20 = 51.6 OR 52 MAXIMUM SPACES	
PARKING PROVIDED:	
STANDARD SPACES PROVIDED	48 SPACES
NUMBER OF H.C. SPACES PROVIDED	3 SPACES
TOTAL SPACES PROVIDED	51 SPACES
STACKING REQUIRED:	
STACKING SPACES REQUIRED	9 SPACES
STACKING PROVIDED:	
STACKING SPACES PROVIDED	17 SPACES
LOADING / UNLOADING AREA REQUIRED:	
(1) @ 10' x 50'	= 500 S.F.
TOTAL LOADING / UNLOADING AREA REQUIRED:	= 500 S.F.
LOADING / UNLOADING AREA PROVIDED:	
(1) @ 10' x 50'	= 500 S.F.
TOTAL LOADING / UNLOADING AREA PROVIDED:	= 500 S.F.
LANDSCAPE REQUIRED:	
SEE LANDSCAPE PLAN AS REQUIRED	- S.F.
LANDSCAPE PROVIDED:	
SEE LANDSCAPE PLAN, IF PROVIDED	- S.F.

**PARKING INFORMATION**

EX'G 68 SPACES	1	SPACES	X' X X'-X" @ 60'
TOTAL SPACES	3	B.F.	SPACES X' X X'-X" @ 60'
51	47	SPACES	X' X X' @ 90'
	-	SPACES	X' X X' @ 0

**ARCHITECT/PLANNER**

**Dorchen/Martin Associates, Inc.**  
Architects/Planners  
29895 Greenfield Rd., Suite 107  
Southfield, Michigan 48076  
(248) 557-1062  
Fax: (248) 557-1231  
e-mail: dmo@dotchenmartin.com  
www.dorchenmartin.com

**SURVEYOR**      **CIVIL ENGINEER**

**SITE LOCATION**

PROJECT STREET ADDRESS	36895 DEQUINDRE	STATUS	DATE	BY	
CITY	TROY	STATE	MICHIGAN	COUNTY	OAKLAND
REGIONAL DWG. NO	DET-00	SITE LOCATION CODE NO.	021-0610		

**McDonald's**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

MICHIGAN      OFFICE      ADDRESS      1021 KARL GREIMEL DR., BRIGHTON, MI 48116      PH: (734) 335-9000

DATE	DESCRIPTION	ISSUE REF.
12-12-12	MC DONALD'S REVIEW	
12-21-12	CITY PRELIMINARY REVIEW	
2-5-13	PRELIMINARY BRAND REVIEW	
3-7-13	PRELIMINARY SITE PLAN REVIEW	

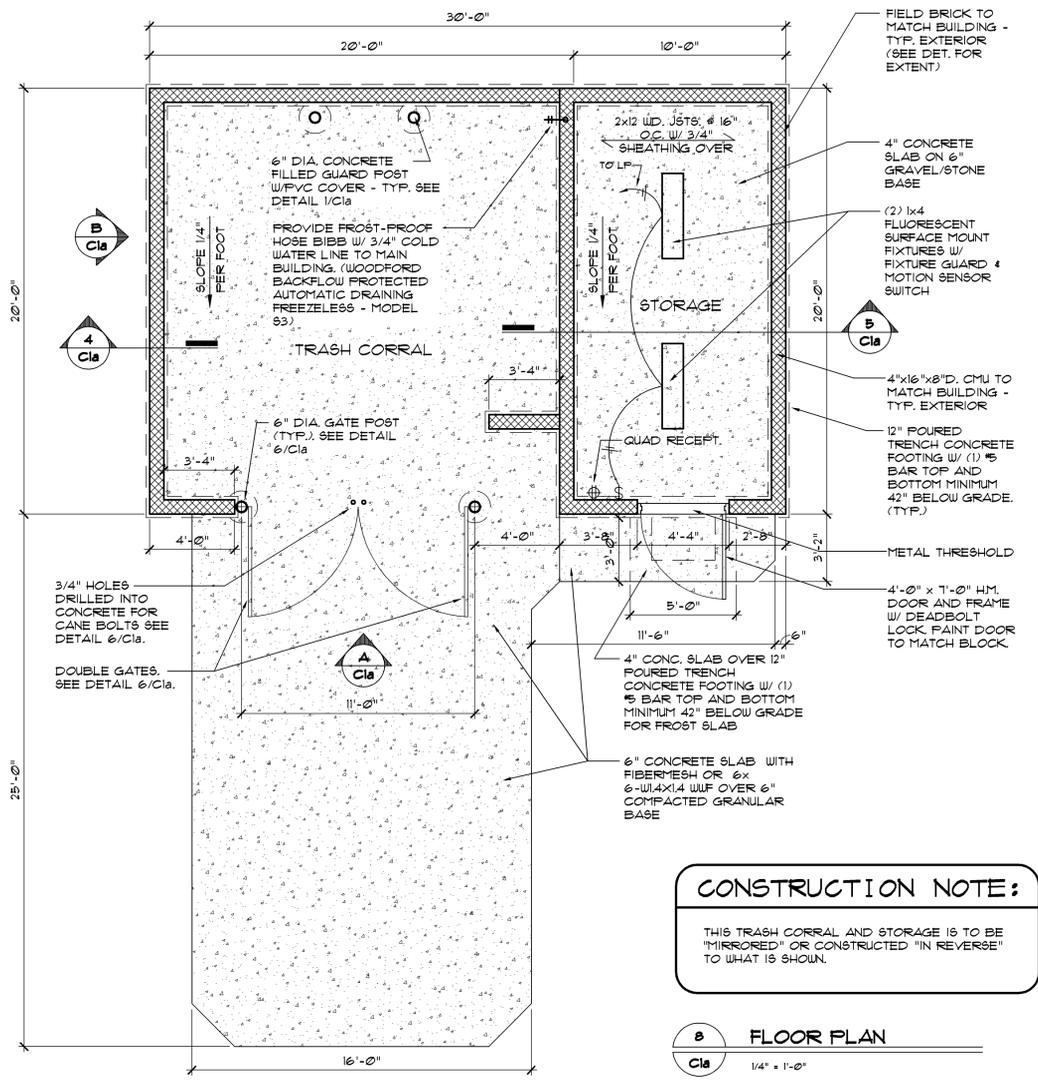
**PLAN APPROVALS**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

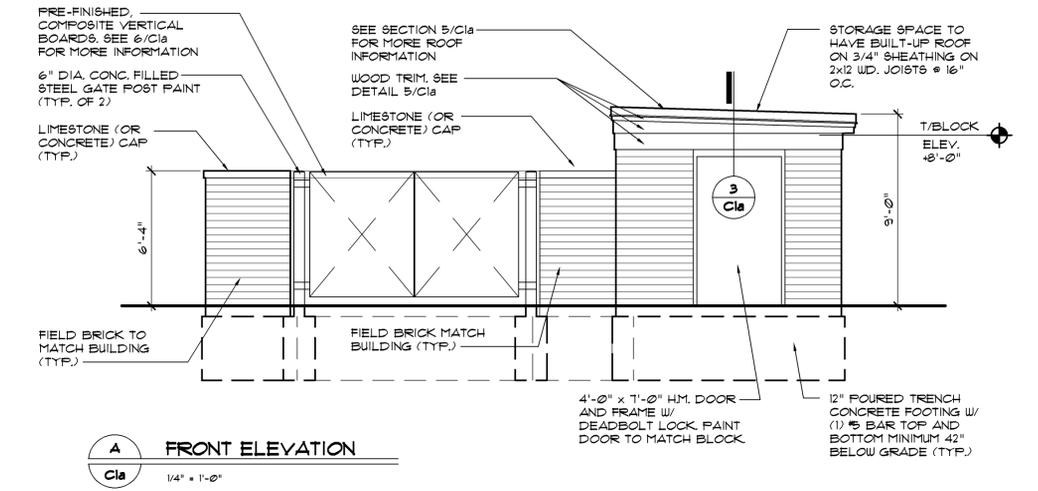
**CO-SIGN SIGNATURES**

**CONTRACTOR**      **OWNER**

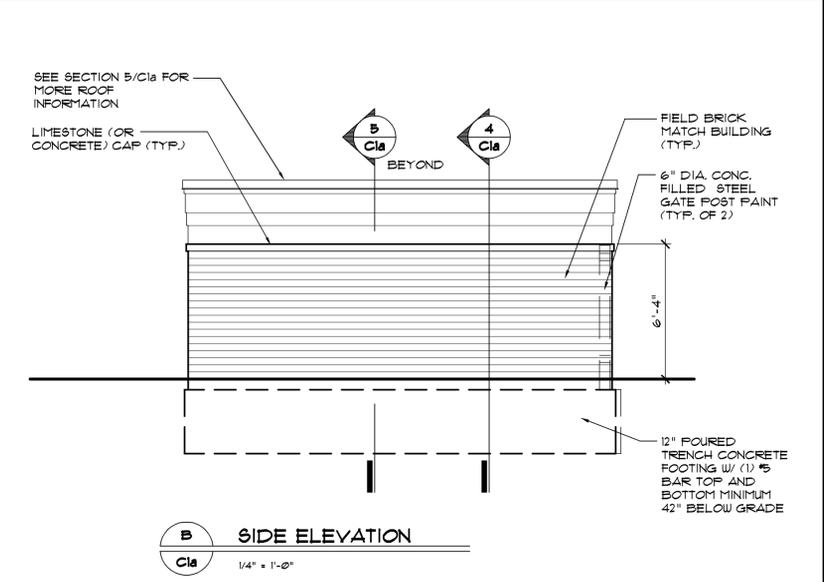
**C1**



**FLOOR PLAN**  
1/4" = 1'-0"

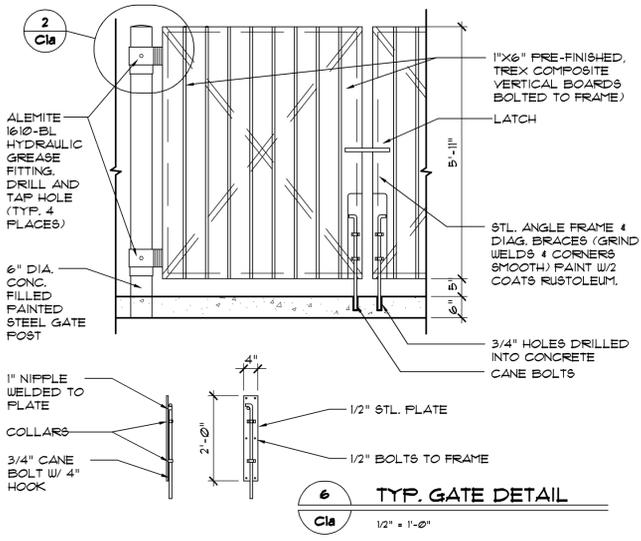


**FRONT ELEVATION**  
1/4" = 1'-0"

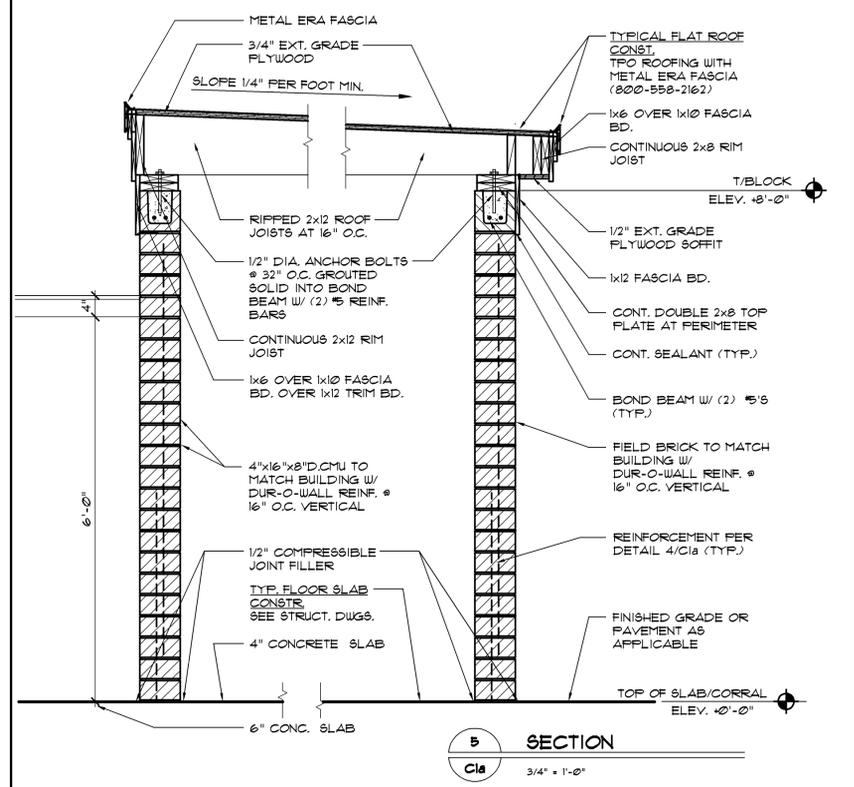


**SIDE ELEVATION**  
1/4" = 1'-0"

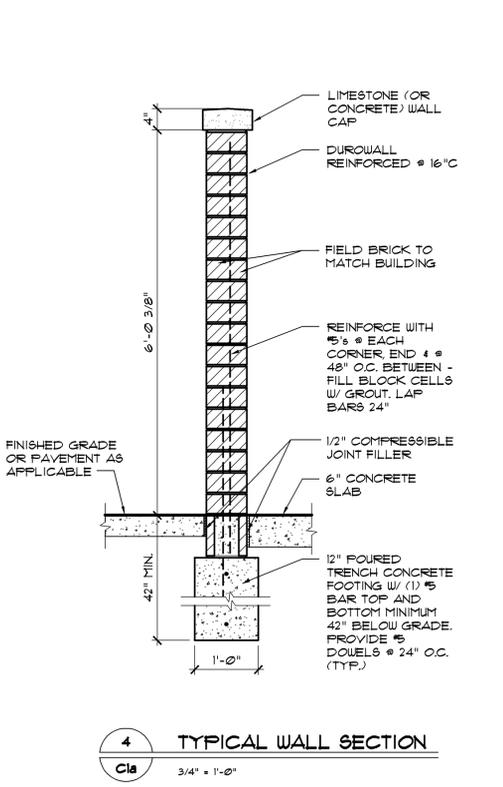
- CORRAL NOTES**
- CORRAL TO BE 8' HIGH BLOCK TO MATCH BLDG. W/FOOTINGS TO EXTEND BELOW FROSTLINE (42" MIN). CORRAL TO HAVE (1) SET OF PRE-FINISHED, TREX 1"x5.5" SQUARE EGED COMPOSITE VERTICAL BOARDS (COLOR TO BE "BRASILIA GAYENNE" UNWEATHERED) HINGED TO CONC. FILLED 6" DIA. PAINTED STEEL GUARD POSTS. REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
  - ANY RECYCLING ACTIVITY TO BE WITHIN THE TRASH CORRAL.
  - 10' STORAGE ROOM TO HAVE ROOF, AND WILL HOUSE OUTDOOR STORAGE EQUIPMENT, ONLY.
  - SUPPLY (3) ROWS OF 24" DEEP SEALED WOOD SHELVING IN SHED.
  - THIS TRASH CORRAL AND STORAGE IS TO BE "MIRRORED" OR CONSTRUCTED "IN REVERSE" TO WHAT IS SHOWN.



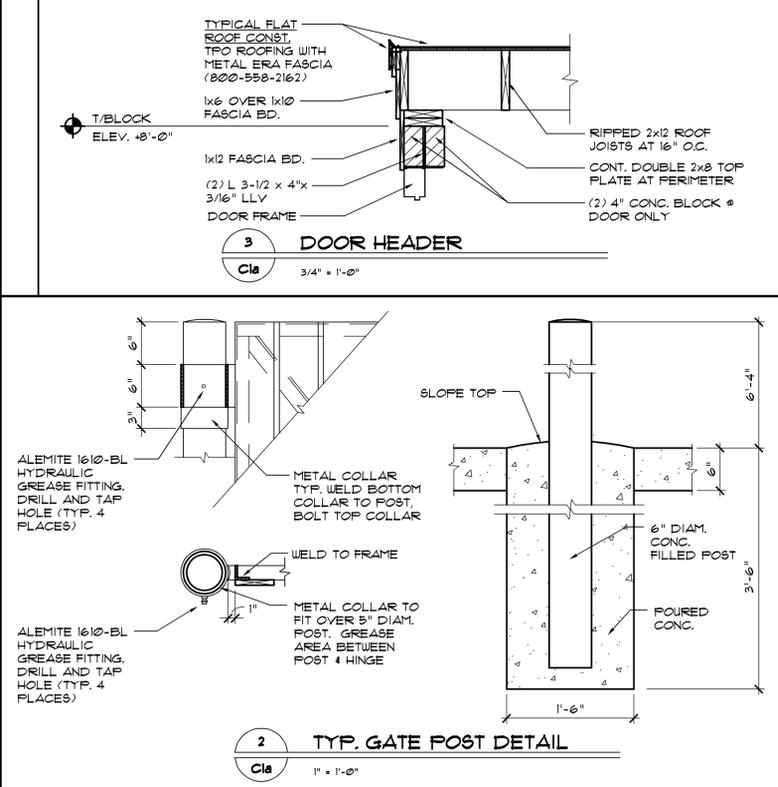
**TYP. GATE DETAIL**  
1/2" = 1'-0"



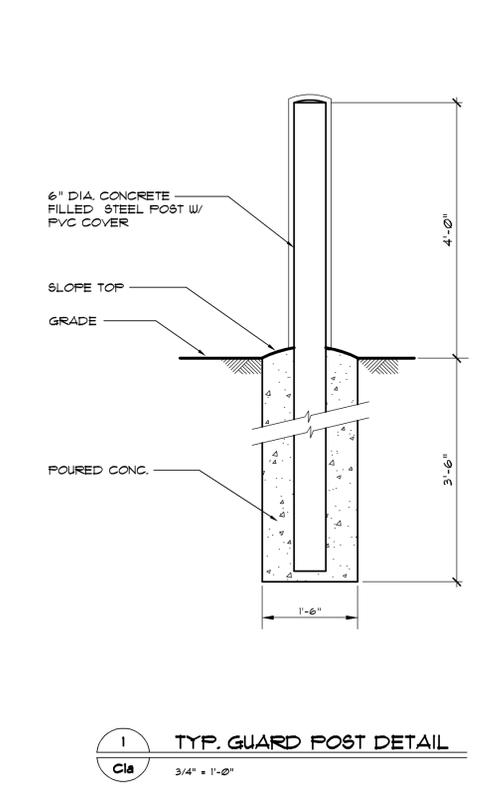
**SECTION**  
3/4" = 1'-0"



**TYPICAL WALL SECTION**  
3/4" = 1'-0"



**TYP. GATE POST DETAIL**  
1" = 1'-0"



**TYP. GUARD POST DETAIL**  
3/4" = 1'-0"

TITLE	ARCADIE CONVERS'N - 2000 BLD'G	DATE	2012	REV	
AWNING VERSION	PARAPET w/o MANSD.	ISSUE DATE	2012	REV	
DESCRIPTION	4" Stone Veneer Arcade on Masonry Steel Frame on Brick/Block Build'g	REVIEWED BY	USD TEAM	REV	
		DATE ISSUED	Winter 2013	REV	
SHEET NO.	#021-0610	SITE ADDRESS	36895 Dequindre, Troy, Michigan	REV	
		PREPARED BY	MCDONALD'S USA, LLC	REV	
		PREPARED FOR	MCDONALD'S USA, LLC	REV	
		ARCHITECT/PLANNER	DorchenMartin Associates, Inc.	REV	
		PROJECT NO.	107	REV	
		LOCATION	Southfield, Michigan	REV	
		DATE	2-5-13	REV	
		PRELIMINARY SITE PLAN REVIEW	B	REV	
		MFR BRAND REVIEW	A	REV	
		DATE	2-5-13	REV	
		DESCRIPTION		REV	
		SAK		REV	
		BY		REV	



**DOOR HARDWARE:**

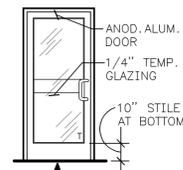
- GENERAL NOTES:**
- ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.
  - THE OPENING FORCE OF ALL EXT. PUSH/PULL DOORS SHALL NOT EXCEED 8 1/2 LBS.
  - THE OPENING FORCE OF ALL INT. PUSH/PULL DOORS SHALL NOT EXCEED 5 LBS.
  - PROVIDE PANIC HARDWARE FOR ALL EXT. DOORS AS NOTED ON THE DOOR SCHED.
  - ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

**DOOR #1:**

- CLOSER: LCN 4021 x 18
- HINGES: OFFSET PIVOT ANSI -A-156.4 GRADE 1; PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY, AS SUPPLIED BY DOOR MANUFACTURER.
- PUSH/PULL HANDLE: KAWNEER #CO-9 OR HAGER PUSH/PULL SET 164D/V/B.
- PANIC HARDWARE: ADAMS RITE MFG. CO. 8800 SERIES WITH OUTSIDE CYLINDER ON 1 DOOR ONLY (FINISH TO MATCH STOREFRONT DOOR)
- THRESHOLD: NATIONAL GUARD PRODUCTS, INC. SADDLE TYPE THRESHOLD 325, 36" WIDE x 1/2" RISE (ADA ACCESSIBLE).
- WEATHER STRIPPING: PROVIDE COMPRESSION WEATHER STRIPPING AGAINST FIXED STOPS. AT OTHER EDGES PROVIDE SLIDING WEATHER STRIPPING RETAINED IN ADJUSTABLE STRIP MORTISED INTO DOOR EDGE. PROVIDE EPDM OR VINYL GASKET WEATHER STRIPPING IN BOTTOM DOOR RAIL ADJUSTABLE FOR CONTACT w/ THRESHOLD.
- SIGN: MOUNT ONTO DOOR, TO READ "THIS DOOR MUST REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED/DURING BUSINESS HOURS."

**DOOR #2:**

- CLOSER: LCN 4041 x 18
- HINGES: OFFSET PIVOT ANSI -A-156.4 GRADE 1; BY DOOR MANUF'R.
- PUSH/PULL HANDLE: HAGER PUSH/PULL SET 164D/V/B.



**GENERAL DOOR NOTES:**

- GC TO INSTALL ACCESSIBILITY DOOR SIGNS WHERE REQUIRED BY LOCAL CODES.
- DETEX ALARM CONTACT SWITCHES SHALL BE RECESSED INTO THE TOP OF THE DOOR & HOLLOW METAL FRAME ABOVE.
- DOORS, DOOR FRAMES, & HARDWARE FOR DOORS #5, 6, 6A, 7, & 8 SUPPLIED BY: UNIVERSAL MANUFACTURING 1-800-821-1414.
- INSTALL COUNTERSUNK SHEET METAL SCREWS ON THE VERTICAL STOPS OF DOORS #1, 2, 3, 3A, & 4. USE FIVE SCREWS PER STOP WITH COLOR TO MATCH STOP.

MARK	DOOR		TYPE	FRAME	
	MATERIAL	SIZE		MATL.	SIZE
1.	ALUM.	3'-0" x 7'-0" x 1 3/4"	A	ALUM.	(See DR. NOTE 6)
2.	ALUM.	3'-0" x 7'-0" x 1 3/4"	A	ALUM.	

**GENERAL FINISH NOTES:**

- ALL FINISH SURFACES OF WALL AND CEILING MATERIALS SHALL BE CLASS II AND SHALL HAVE A FLAME SPREAD RATING OF 26 TO 75 AND A SMOKE DENSITY OF 450 MAX. (PER IBC TABLE BA).
- DRAPES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT AND MEET THE CRITERIA OF NFPA 701.
- DECORATIVE MATERIAL SHALL NOT CONCEAL EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS, AND EXTINGUISHER LOCATIONS
- QUARRY TILE: DAL-TILE DIABLO RED 6X6 ABRASIVE TILE WITH BLACK GROUT

**FLOOR TILE:**

- DAL-TILE ROCKY MOUNTAIN SERIES OR OTHER TILE MEETING THE FOLLOWING:
- MUST BE APPROVED BY McDONALD'S U.S. RESTAURANT DESIGN & CONSTRUCTION DEPARTMENT
  - MUST BE NO LARGER THAN 12"x12"
  - MUST MEET THE FOLLOWING STATIC COEFFICIENT OF FRICTION PER ASTM F1677-05: LEVEL SURFACES: MINIMUM 0.50 DRY AND WET
  - NOT USED
  - FRP OVER CEMENT BD BEHIND 3-COMP SINK TO HGT OF BACK SPLASH
  - FRP OVER CEMENT BD. OVER EXT GRADE PLYWOOD (SEE NOTE 5) AT MOP SINK  
OPTIONAL: ADD STAINLESS STEEL SHEET
  - PROVIDE CEMENT BOARD BACKER OR EQUIVALENT AT ALL CERAMIC TILE LOCATIONS.

**KEY NOTES**

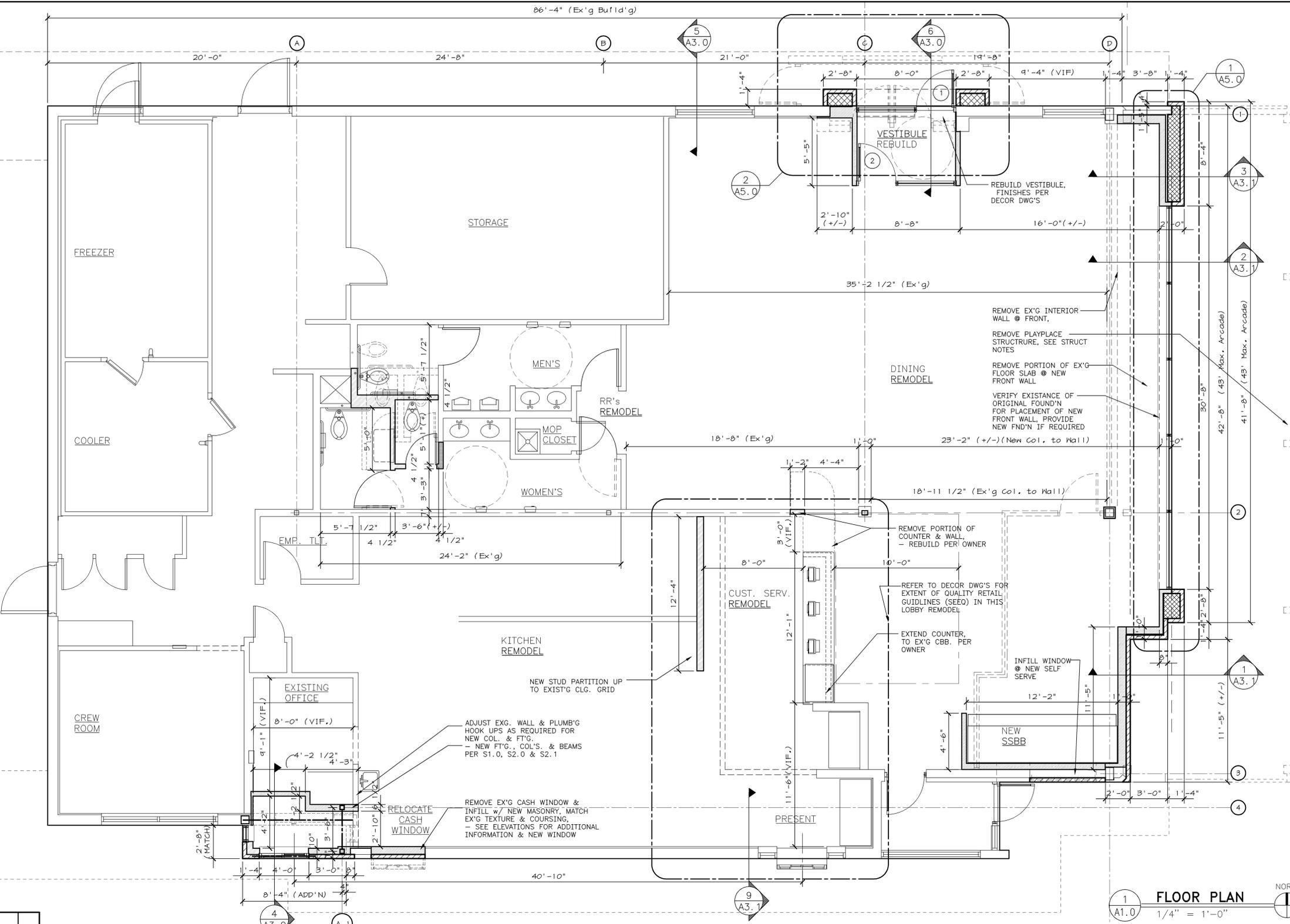
- BN NEW BRICK - MATCH EXG.
- CW NEW CONC. WALK TO MATCH EXIST'G
- IF PROVIDE INTERIOR FINISH TO MATCH EXISTING OR PER DECOR
- S NEW SIGNAGE - BY OTHERS - SEE ELEVATIONS
- SF NEW STOREFRONT SYSTEM - SEE 7/A3.0 FOR NOTES - SEE ELEVATIONS
- T NEW TRELLIS SYSTEM ABOVE - SEE 7/A3.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS
- SV 4" STONE VENEER (ROCKCAST) - SEE ELEVATIONS FOR NOTES

**GENERAL NOTES**

- SEE 7/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 NEW ROCHELLE, NY 10802
- SEE DECOR DRAWINGS FOR INTERIOR SEAT'G PLAN, LIGHTING PLAN AND FINISHES.
- SEE KITCHEN EQUIPMENT DRAWINGS FOR NEW ITEMS LOCATIONS, AND INSTALLATION.

**SYMBOL LEGEND**

- 7 DOOR TAG - SEE DOOR SCHEDULE THIS SHEET
  - XX KEY NOTE
- WALL SCHEDULE**
- WALLS TO BE REMOVED
  - EXIST'G EXT. WALLS
  - NEW STUD WALLS
  - NEW MASONRY WALLS
  - NEW MASONRY VENEER

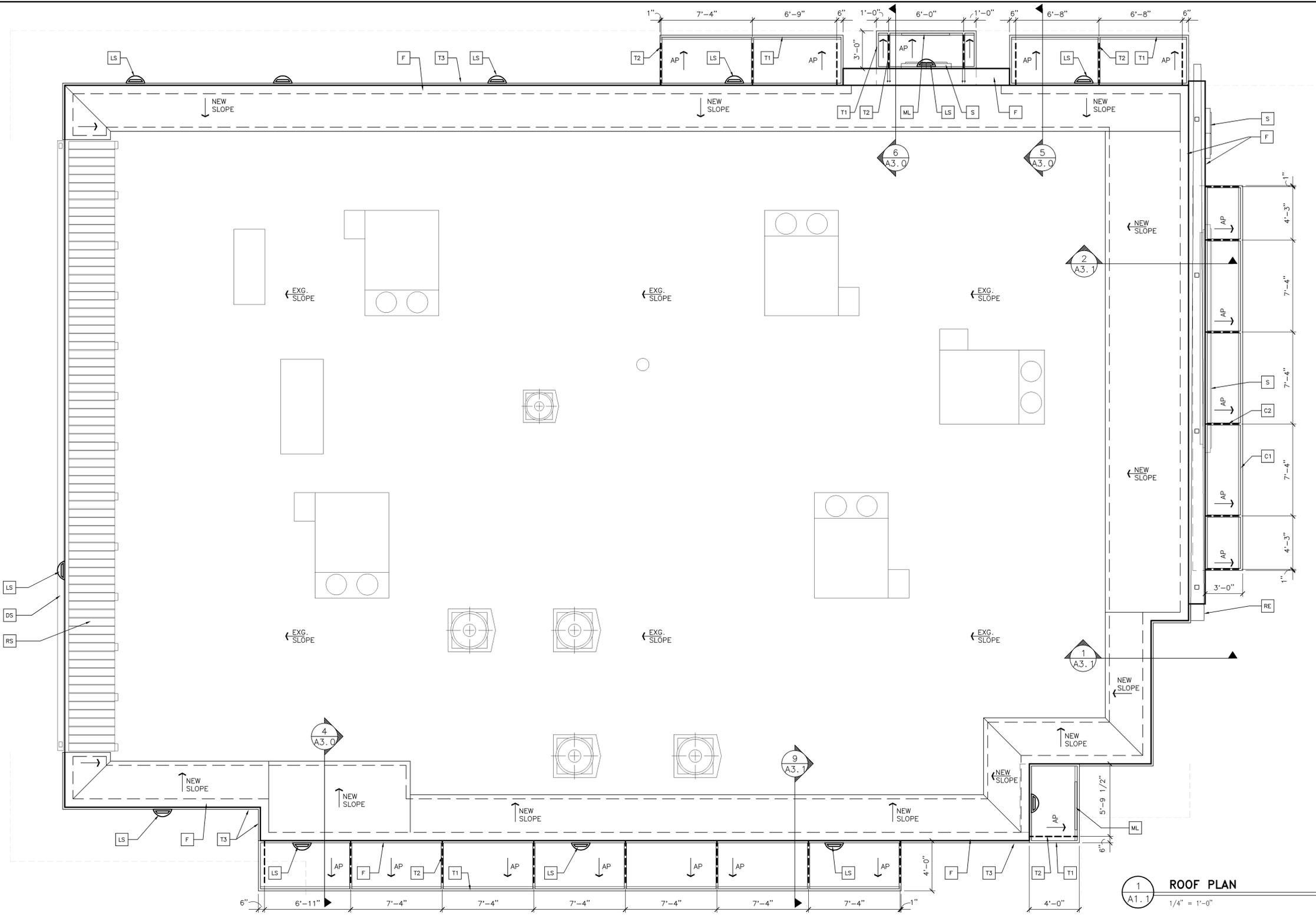


**1 FLOOR PLAN**  
1/4" = 1'-0"

DRAWN BY DMA Team	STD 2012	REVIEWED BY USRD TEAM	DATE ISSUED Winter 2013	SITE ADDRESS 021-0610 36895 Dequindre, Troy, Michigan	TITLE ARCADE CONVERS'N - 2000 BLD'G AWNING VERSION - PARAPET w/o MANSD.	DESCRIPTION 4" Stone Veneer Arcade on Masonry Steel Frame on Brick/Block Build'g	SHEET NO. #021-0610 <b>A1.0</b> FLOOR PLAN	SAK 3-7-13	FINAL MRP BRAND REVIEW	BY

PREPARED FOR: **McDonald's USA, LLC**  
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PREPARED BY: **DorchenMartin Associates, Inc.**  
 Architecture/Planner 107 Southfield, Michigan 48078  
 Phone: (248) 557-1062  
 Fax: (248) 557-1231  
 www.dorchenmartin.com



1 ROOF PLAN  
1/4" = 1'-0"

**ROOFING SYSTEM**

- Manufacturers and Products:
  - Carlisle Syntec Incorporated: Sure-Weld TPO Roofing System
  - Johns Manville: UltraGard SRT-60

**NO SUBSTITUTIONS ALLOWED**
- Specified Roofing Systems (as shown):
 

Heat-weldable single-ply 60 mil TPO roofing system, installed over rigid insulation on metal roof deck having a slope of 3/8"/FT. Materials shall be as follows:

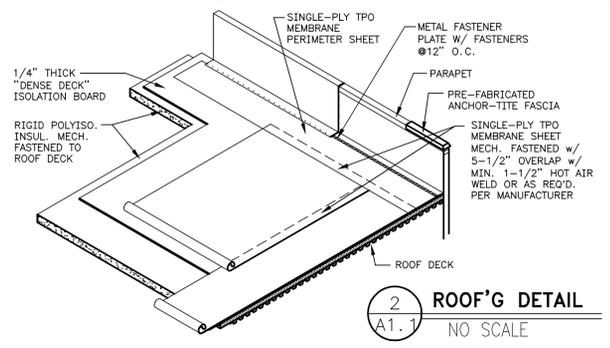
  - TPO Roofing System as manufactured by one of the two manufacturers listed above to comply with ASTM D-6878, and FMG I-90 for wind uplift.
  - Fasteners: metal fasteners and plates as per manufacturer.
  - Accessories: pre-fabricated curbs, flashing, corners, termination bars, pipe flashing, vent flashing etc. as per manufacturer.

- Walkways:
  - 34" wide walkway roll, hot air welded to membrane.
  - Provide walkway from roof ladder exit to roof top units as per roof plan above.
  - Install walkway according to walkway pad manufacturer's written instruction.
- Rigid Insulation:
 

Provide required layers of polyisocyanurate insulation w/ cover board to meet a R-25 value - thickness as required. Provide positive slope to roof drains (3/8" per foot min.) see roof plan. Provide top layer protection material as per manufacturer's recommendations. Bottom layer of insulation to have intergral thermal barrier or approved roofing manufacturer's thermal underlayment sheet. Assembly to comply with UL 1256 or FMG 4450.
- Tapered Insulation:
 

Provide tapered insulation as required for positive drainage to roof drains as indicated per roof plan above. 1/4" per foot min. required.
- Exhaust hoods:
 

Provide additional roof membrane around exhaust hoods as indicated per roof plan above.



**LEGEND**

- AP TRELLIS SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE PER MANUFACTURER @1/4" PER FT.
- NEW SLOPE ROOF SLOPE @ 1/4" PER FT. (MIN)

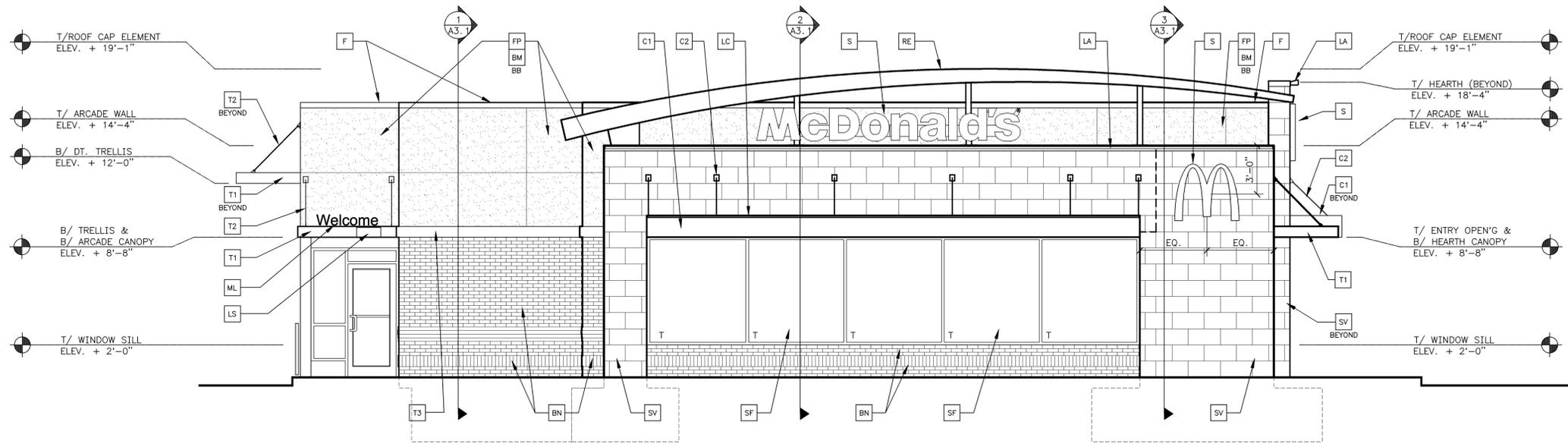
**EXTERIOR FINISHES**

SEE ELEVATIONS FOR EXTERIOR FINISH NOTES

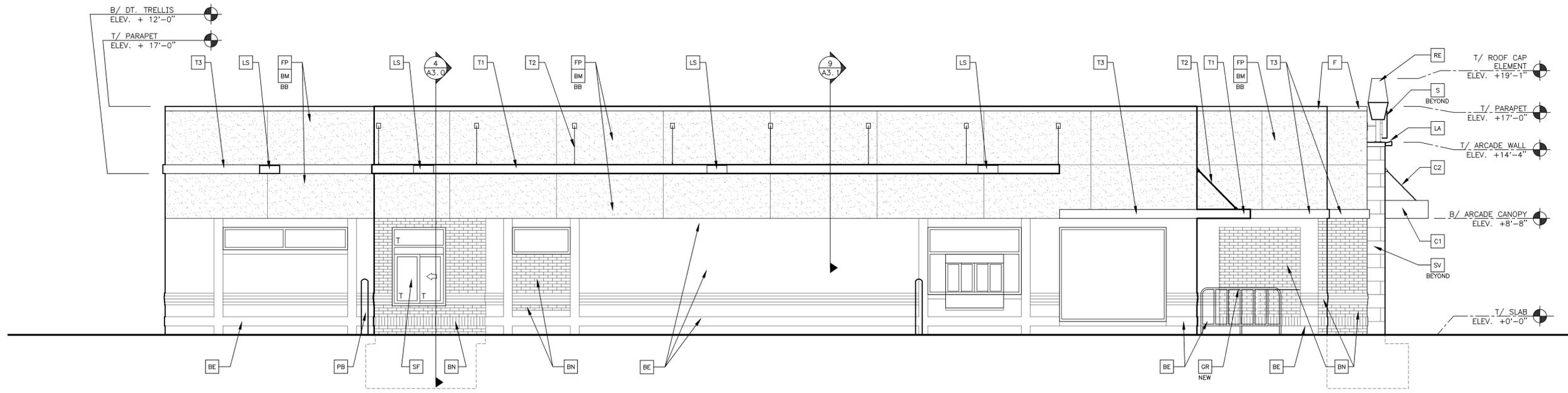
**KEY NOTES**

- C1 NEW ALUMINUM CANOPY FASCIA W/LIGHT, BY OTHERS - SEE ELEVATIONS (COLOR: YELLOW)
- C2 NEW ALUMINUM CANOPY TIE-BACKS
- DS NEW OR EXISTING GUTTER AND/OR SCUPPER AND DOWNSPOUT
- F FASCIA: ERA METAL W/FINISH TO MATCH ALUMINUM
- LP NEW GOOSENECK LIGHT - SEE ELECTRICAL
- LS NEW WALL SCONCE LIGHT - SEE ELECTRICAL
- ML METAL LETTERING  
NEW STANDING SEAM METAL ROOF - SEE ELEVATIONS
- RD RAIN DIVERTER
- RE NEW ROOF CAP ELEMENT BY OTHERS - SEE ELEVATIONS
- RL ROOF LADDER (EXISTING)
- RS ROOF SCREEN (NEW TREX BD.)
- S NEW McDONALD'S SIGNAGE BY OTHERS - SEE ELEVATIONS
- T1 NEW ALUMINUM TRELLIS BY OTHERS - SEE ELEVATIONS
- T2 NEW ALUMINUM TRELLIS TIE-BACK BY OTHERS - SEE ELEVATIONS
- T3 NEW ALUMINUM TRELLIS 2x8 WALL FASCIA BY OTHERS - SEE ELEVATIONS
- T4 CEMENT BOARD TRIM 1x\_ WALL FASCIA (PAINT)

<p>© 2013 McDonald's USA, LLC  <b>McDonald's USA, LLC</b>          These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by the architect and are not to be used on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the architect. The contract documents for reuse on another project is not authorized.</p>													
<p>PREPARED BY:  <b>Dorchen/Martin Associates, Inc.</b>          Architects/Planners          4000 Westland Blvd., Suite 107          Southfield, Michigan 48078          (248) 557-1062          Fax: (248) 557-1231          www.dorchenmartin.com</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>A</td> <td>2-5-13</td> <td>MRP BRAND REVIEW</td> </tr> <tr> <td>B</td> <td>3-7-13</td> <td>FINAL MRP BRAND REVIEW</td> </tr> <tr> <td>SAK</td> <td></td> <td></td> </tr> </table>	REV	DATE	DESCRIPTION	A	2-5-13	MRP BRAND REVIEW	B	3-7-13	FINAL MRP BRAND REVIEW	SAK		
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SAK													
<p>DRAWN BY: [Blank]</p> <p>STD ISSUE DATE: 2012</p> <p>REVIEWED BY: USRD TEAM</p> <p>DATE ISSUED: Winter 2013</p>	<p>TITLE: ARCADE CONVERS'N - 2000 BLD'G</p> <p>DESCRIPTION: AWNING VERSION - PARAPET w/o MANSD. 4" Stone Veneer Arcade on Masonry Steel Frame on Brick/Block Build'g</p> <p>SHEET NO. #021-0610</p> <p><b>A1.1</b></p> <p>ROOF PLAN</p>												
<p>PREPARED FOR:  <b>McDonald's USA, LLC</b></p>	<p>SITE ADDRESS: 36895 Dequindre, Troy, Michigan</p>												



1 FRONT ELEVATION - EAST  
A2.0 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION - SOUTH  
A2.0 1/4" = 1'-0"

**KEY NOTES:**

- BM BASE BUILDING MATERIAL - SEE WALL SECTIONS
- BB COLOR: BB = BASE BUILDING
- BE BRICK MASONRY - EXISTING - DO NOT PAINT
- BN BRICK MASONRY - NEW TO MATCH EXG. FIELD & BANDING
- C1 ALUMINUM CANOPY w/ LIGHT (COLOR: YELLOW)
- C2 ALUMINUM CANOPY TIE-BACK
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- DS PROVIDE NEW DOWNSPOUT AS REQUIRED (OR PAINT EXISTING GUTTER AND DOWNSPOUT)
- F FASCIA: ERA METAL w/ FINISH TO MATCH ALUMINUM
- FP FACE PANEL WALL SYSTEM: MATCH COLOR SCHEME
- GR GUARD RAIL - NEW
- LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL
- LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL
- LP LIGHT FIXTURE (PARAPET LIGHT) - SEE ELECTRICAL
- LS LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL
- MB NEW BREAK METAL - MATCH EXISTING WINDOW MULLIONS
- ML METAL LETTERING - BY OTHERS
- MR CANOPY ROOF - STANDING SEAM METAL. PROVIDE SNOW GUARDS WHERE APPLICABLE
- PB PIPE BOLLARD w/ YELLOW PVC COVER
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RL ROOF LADDER (EXISTING). PAINT.
- RS ROOF SCREEN WALL. TREX BOARDS ON METAL FRAME. PAINT TO MATCH BASE BUILDING.
- RE 45° ROOF CAP ELEMENT BY OTHERS.
- S McDONALD'S SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE THIS SHEET.
- SF NEW STORE FRONT & GLAZING. (T=TEMPERED)
- SP NEW SPANDREL GLASS INFILL PANEL IN EXISTING ALUMINUM FRAME
- SV 4" STONE VENEER (ROCKCAST)
- T1 ALUMINUM TRELLIS
- T2 ALUMINUM TRELLIS TIE-BACK
- T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
- T4 CEMENT BOARD TRIM 1x. WALL FASCIA. - PAINT TO MATCH COLOR SCHEME.

**NOTE:**

NEW EXTERIOR DOOR AND WINDOW. ALUMINUM COLOR TO MATCH EXISTING.

COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
ARCADES & HEARTH:	STONE VENEER - ROCKCAST (4"x12"x24") SMOOTH FINISH) ST 003(SM)
MATCH BRICK COLOR SCHEME	BB = BASE BUILDING (UPPER): STONE #2112-40
<b>NOTE:</b> ALL AUXILIARY STRUCTURES TO BE UNPAINTED NATURAL BRICK OR MATCH BUILDING BASE COLOR (U.N.O.)	

**SIGNAGE SUPPORT NOTE:**

UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER. ALL SIGNAGE SUBJECT TO CITY REQUIREMENTS AND APPROVALS. ALL SIGNAGE TO BE UNDER SEPARATE PERMIT.

DRAWN BY: DMA  
 STD ISSUE DATE: 2012  
 REVIEWED BY: USRD TEAM  
 DATE ISSUED: Winter 2013

PREPARED FOR: McDonald's USA, LLC  
 PROJECT: ARCADE CONVERS'N - 2000 BLD'G  
 DRAWING: AWNING VERSION - PARAPET w/o MANSD.  
 DESCRIPTION: 4" Stone Veneer Arcade on Masonry Steel Frame on Brick/Block Build'g  
 SITE ADDRESS: 36895 Dequindre, Troy, Michigan  
 SITE ID: 021-0610

PREPARED BY: Dorchen/Martin Associates, Inc.  
 Architects/Planners  
 10777 Northpark Drive, Suite 107  
 Southfield, Michigan 48078  
 (248) 557-1062  
 Fax: (248) 557-1231  
 www.dorchenmartin.com

REV	DATE	DESCRIPTION
A	2-5-13	MRP BRAND REVIEW
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SAK		
BY		

TITLE: #021-0610  
**A2.0**  
 ELEVATIONS  
 10025m

