



Legend:

315 0 158 315Feet

Scale 1: 1,892



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

378 0 189 378 Feet

Scale 1: 2,271

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

**CITY OF TROY
CONDITIONAL REZONING APPLICATION**

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
PHONE: 248-524-3364
FAX: 248-524-3382
E-MAIL: planning@troymi.gov



CONDITIONAL REZONING
REVIEW FEE
\$1,500.00

ESCROW FEE
\$1,500.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE CONDITIONAL REZONING APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

A PLANNING COMMISSION PUBLIC HEARING SHALL BE SCHEDULED FOLLOWING A DETERMINATION BY THE PLANNING DEPARTMENT THAT THE CONDITIONAL REZONING APPLICATION IS COMPLETE AND MEETS THE REQUIREMENTS OF THE TROY ZONING ORDINANCE.

-
1. NAME OF THE PROPOSED DEVELOPMENT: Troy Marriott Hotels
 2. ADDRESS OF THE SUBJECT PROPERTY: 333 Stephenson Hwy.
 3. CURRENT ZONING CLASSIFICATION OF SUBJECT PROPERTY: (O) Office Building District
 4. PROPOSED ZONING CLASSIFICATION OF SUBJECT PROPERTY: (OM) Office Mixed Use
 5. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 20-35-326-012

6. APPLICANT: NAME <u>Akram Nanou</u> COMPANY <u>ASM Hospitality</u> ADDRESS <u>24170 Sherwood Ave</u> CITY <u>Center Line</u> STATE <u>MI</u> ZIP <u>48015</u> TELEPHONE <u>248-255-5946</u> E-MAIL <u>Akram.Nanou.Hosp@aol.com</u>	PROPERTY OWNER: NAME <u>See Left</u> COMPANY _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ TELEPHONE _____ E-MAIL _____
--	--

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:

8. SIGNATURE OF THE APPLICANT  DATE 6/10/13
9. SIGNATURE OF THE PROPERTY OWNER _____ DATE _____

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC OF THE REQUEST FOR CONDITIONAL REZONING.

Executive:	PM
Manager:	AW
Designer:	DR/JK
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal:



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION

Developed For:
A&M HOSPITALITY

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

COVER

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	05.03.2013
Scale:	NTS
Sheet:	01
Project:	18452.00

TROY MARRIOTT HOTELS

CITY OF TROY, OAKLAND COUNTY, MICHIGAN
SECTION 24 T-05-N, R-13-E
TAX PARCEL ID:



LOCATION MAP
(NOT TO SCALE)

PROPERTY DESCRIPTION

(PER TAX RECORD, TAX ID: 20-35-326-012)
LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT A POINT DISTANT S.88°24'00"E., 664.61 FEET AND S.88°13'12"E., 1019.84 FEET AND N.01°57'38"E., 358.88 FEET FROM THE SOUTHWEST CORNER OF ABOVE SAID SECTION; THENCE N.88°35'27"W., 351.11 FEET; THENCE N.02°31'48"E., 570.29 FEET; THENCE S.88°02'22"E., 345.43 FEET; THENCE S.01°57'38"W., 566.88 FEET TO THE POINT OF BEGINNING.

AS FIELD SURVEYED DESCRIPTION

(TAX ID: 20-35-326-012)
PART OF THE SOUTHWEST 1/4 OF SECTION 35, T-02-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
COMMENCING AT THE SOUTHWEST CORNER OF SECTION 35; THENCE N.87°33'17"E., 1684.46 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 (14 MILE ROAD) TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY (204 FEET WIDE); THENCE N.02°07'02"W., 358.99 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE S.87°11'49"W., 351.12 FEET; THENCE N.01°32'52"W., 570.43 FEET; THENCE N.87°52'58"E., 345.43 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY; THENCE S.02°07'02"E., 566.20 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING AND CONTAINING 4.543 ACRES.

BENCH MARK DATA

(CITY OF TROY) DATUM

CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
ELEVATION=644.52'

SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

DEVELOPER :
A & M HOSPITALITY
24170 SHERWOOD
CENTER LINE, MI 48015
(248) 259-5600 p

CIVIL ENGINEER :
GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: ANDY WAKELAND, P.E.

LANDSCAPE ARCHITECT :
GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: MARK HANSEN, B.L.A., R.L.A.

ARCHITECT :
VICTOR SAROKI & ASSOCIATES
430 N. OLD WOODWARD AVE.
BIRMINGHAM, MI 480009
(248) 258-5707 p
(248) 258-5515 f

SHEET INDEX

- 01 COVER
- 02 TOPOGRAPHIC SURVEY
- 03 SITE PLAN
- 04 UTILITY PLAN
- 05 GRADING PLAN
- 06 LANDSCAPE PLAN
- 07 NOTES AND DETAILS

FAIRFIELD INN & SUITES
-RENDERING
-ELEVATIONS
-FLOOR PLANS

TOWNEPLACE SUITES
-RENDERING
-ELEVATIONS
-FLOOR PLANS



LOCATION MAP
(NOT TO SCALE)

LEGEND - EXISTING

- E/ PAVEMENT CURB
- E/ WALK
- MISC. LINE
- FENCE
- GUARD RAIL
- WALL
- BLDG. LINE
- OVERHEAD WIRES
- T/ BANK
- B/ BANK
- WATER EDGE
- STORM LINE
- SAN. LINE
- WATER LINE
- GAS LINE
- SECTION LINE
- ELECTRIC OVERHEAD
- RE-DITCHED SWALE
- ⊙ SAN. MH
- ⊗ GATE VALVE
- ⊕ HYDRANT
- ⊖ WATER VALVE
- ⊕ FDC CONNECTION
- ⊖ STORM MH
- ⊕ CATCH BASIN
- ⊖ BEEHIVE CB
- ⊕ CULTVERT E.S.
- ⊖ ROUND CB
- ⊕ LIGHT POLE
- ⊖ UTILITY POLE
- ⊕ ELEC. MH
- ⊖ GAS METER
- ⊕ GAS RISER
- ⊙ TELE. MH
- ⊖ MANHOLE
- ⊕ SIGN
- ⊖ PROT. POST/GUARD POST
- ⊕ GUY
- ⊖ DECIDUOUS TREE
- ⊕ CONIFEROUS TREE
- ⊖ DEAD TREE
- ⊕ UTILITY FLAG
- ⊖ EXISTING ELEVATION
- ★ MISC. TOPO. SHOT
- ⊕ SURVEY CONTROL POINT
- ⊖ FOUND IRON
- ⊕ FOUND NAIL
- ⊕ SECTION COR.
- ⊖ FENCE POST
- ⊕ FOUND PIPE
- ⊖ FOUND MON.
- ⊕ CHAIN-LINK FENCE
- ⊖ D.L.
- ⊕ FINISHED FLOOR
- ⊖ FOUND IRON
- ⊕ MEASURED IRON PIPE
- ⊖ RECORD
- ⊕ F.M.

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
21	GATE VALVE	T/PIPE	642.90	-6.90	636.00	NORTH-SOUTH	
22	BEEHIVE CATCH BASIN	T/WATER	641.46	-3.80	637.66	NORTH-SOUTH	UNABLE TO REMOVE COVER
		T/DEBRIS	641.46	-5.80	635.66	NORTH-SOUTH	
23	SANITARY MANHOLE	15"	641.46	-4.40	637.06	EAST	FLOWS SOUTH
		18"	642.09	-12.24	629.85	SOUTH	
26	BEEHIVE CATCH BASIN	T/WATER	641.43	-3.83	637.60	NORTH	NO OTHER PIPES VISIBLE
		T/DEBRIS	641.43	-4.48	636.95	NORTH	
27	SANITARY MANHOLE	18"	642.09	-12.30	629.79	NORTH	FLOWS SOUTH
		15"	642.45	-12.96	629.49	SOUTH	
28	BEEHIVE CATCH BASIN	T/WATER	640.73	-3.05	637.68	NORTH	NO OTHER PIPES VISIBLE
		T/DEBRIS	640.73	-5.55	635.18	NORTH	
29	CATCH BASIN	15"	642.64	-4.60	638.04	NORTHEAST	PIPE WEST IS NOT VISIBLE
		18"	643.85	-13.81	630.04	NORTH	
30	SANITARY MANHOLE	18"	643.85	-13.81	630.04	EAST	FLOWS SOUTH
		8"	643.59	-14.08	629.51	EAST	
31	SANITARY MANHOLE	18"	643.59	-14.60	628.99	SOUTH	FLOWS SOUTH
		18"	643.59	-14.70	628.89	NORTH	
32	TELEPHONE MANHOLE	T/WATER	642.74	-2.10	640.64	NORTH-SOUTH	NO WIRES VISIBLE
		T/DEBRIS	642.74	-9.60	633.14	NORTH-SOUTH	
52	STORM MANHOLE	18"	642.46	-2.32	640.14	NORTH	NO OTHER PIPES VISIBLE
		18"	642.46	-3.39	639.07	WEST	
128	CATCH BASIN	12"	642.49	-4.12	638.37	EAST	NO PIPE VISIBLE
		18"	642.46	-2.27	640.19	SOUTH	
148	ROUND CATCH BASIN	T/WATER	641.80	-0.90	640.90	EAST	NO OTHER PIPES VISIBLE
		T/DEBRIS	641.80	-4.80	637.00	EAST	
223	CATCH BASIN	T/WATER	642.66	-1.01	641.65	SOUTH-SOUTHWEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.66	-3.80	638.86	SOUTH-SOUTHWEST	
229	ROUND CATCH BASIN	6"	643.30	-2.48	640.82	WEST	NO OTHER PIPES VISIBLE
		6"	643.30	-2.53	640.77	EAST	
232	ROUND CATCH BASIN	T/WATER	642.90	-1.20	641.70	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.90	-2.08	640.82	WEST	
251	STORM MANHOLE	T/WATER	642.16	-4.60	637.56	EAST	POSSIBLE PUMPING STRUCTURE W/ ELECTRIC
		T/DEBRIS	642.16	-8.60	633.56	EAST	
252	SANITARY MANHOLE	8"	642.44	-10.47	631.97	EAST	NO OTHER PIPES VISIBLE
		8"	642.44	-8.43	634.01	WEST	

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
254	BEEHIVE CATCH BASIN	15"	642.18	-4.06	638.12	NORTH	NO OTHER PIPES VISIBLE
		12"	642.18	-3.80	638.38	EAST	
255	ELECTRIC MANHOLE	BOTTOM	642.18	-4.40	637.78	EAST	HANDHOLE
		6"	642.18	-4.40	637.78	EAST	
256	ELECTRIC MANHOLE	BOTTOM	642.18	-4.40	637.78	EAST	HANDHOLE
		6"	642.18	-4.40	637.78	EAST	
257	STORM MANHOLE	T/WATER	643.62	-5.70	637.92	SOUTH-SOUTHWEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	643.62	-5.82	637.80	SOUTH-SOUTHWEST	
332	GATE VALVE	T/PIPE	642.90	-6.90	636.00	NORTH-SOUTH	UNABLE TO REMOVE COVER
		T/DEBRIS	642.90	-8.90	634.00	NORTH-SOUTH	
340	SANITARY MANHOLE	8"	642.10	-7.45	634.65	EAST	NO OTHER PIPES VISIBLE
		8"	642.10	-7.45	634.65	WEST	
375	STORM MANHOLE	T/WATER	642.80	-1.95	640.85	NORTH-SOUTH	POSSIBLE PUMPING STRUCTURE W/ ELECTRIC
		T/DEBRIS	642.80	-15.10	627.70	NORTH-SOUTH	
431	STORM MANHOLE	10"	644.29	-4.50	639.79	WEST	NO OTHER PIPES VISIBLE
		6"	644.29	-4.25	640.04	EAST	
5013	STORM MANHOLE	18"	643.24	-7.00	636.24	EAST	NO FLOW
		18"	643.24	-7.05	636.19	WEST	
5022	ROUND CATCH BASIN	T/WATER	643.24	-6.75	636.49	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	643.24	-1.25	639.87	SOUTHWEST	
5052	STORM MANHOLE	18"	642.95	-6.75	636.20	EAST	NO OTHER PIPES VISIBLE
		18"	642.95	-6.75	636.20	EAST	
5053	ROUND CATCH BASIN	T/WATER	641.89	-5.45	636.44	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	641.89	-6.63	635.22	WEST	
5068	BEEHIVE CATCH BASIN	6"	639.39	-1.93	637.46	SOUTH-SOUTHWEST	NO OTHER PIPES VISIBLE
		6"	639.39	-1.93	637.46	SOUTH-SOUTHWEST	
5085	ROUND CATCH BASIN	T/WATER	642.48	-1.60	640.88	EAST	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.48	-4.43	638.05	EAST	
5157	ROUND CATCH BASIN	21"	642.31	-4.86	637.45	EAST	NO OTHER PIPES VISIBLE
		18"	642.31	-4.45	640.86	EAST	
5224	ROUND CATCH BASIN	T/WATER	642.02	-1.15	640.87	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.02	-4.40	637.62	WEST	
5229	ROUND CATCH BASIN	18"	642.28	-4.46	637.82	WEST	NO OTHER PIPES VISIBLE
		18"	642.28	-4.40	640.86	WEST	
5295	ROUND CATCH BASIN	T/WATER	642.70	-1.80	640.90	NORTH	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.70	-6.30	635.40	NORTH	
5323	VALVE COVER	20" DIA. LID. FILL PORT WITH ELECTRIC	643.86				NO OTHER PIPES VISIBLE
		20" DIA. LID. FILL PORT	643.86				
5324	VALVE COVER	20" DIA. LID. FILL PORT WITH ELECTRIC	643.89				NO OTHER PIPES VISIBLE
		20" DIA. LID. FILL PORT	643.89				
5325	VALVE COVER	44" DIA. LID. FILL PORT	643.89				NO OTHER PIPES VISIBLE
		44" DIA. LID. FILL PORT	643.89				
5340	ROUND CATCH BASIN	T/WATER	642.87	-2.00	640.87	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	642.87	-6.70	636.17	WEST	

PROPERTY DESCRIPTION

(PER TAX RECORD, TAX ID: 20-35-326-012)
 LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:
 BEGINNING AT A POINT DISTANT S.88°24'00"E., 664.61 FEET AND S.88°13'12"E., 1019.84 FEET AND N.01°57'38"E., 358.88 FEET FROM THE SOUTHWEST CORNER OF ABOVE SAID SECTION 35; THENCE N.88°35'27"W., 351.11 FEET; THENCE N.02°31'48"E., 570.29 FEET; THENCE S.88°02'22"E., 345.43 FEET; THENCE S.01°57'38"W., 566.88 FEET TO THE POINT OF BEGINNING.

AS FIELD SURVEYED DESCRIPTION

(TAX ID: 20-35-326-012)
 PART OF THE SOUTHWEST 1/4 OF SECTION 35, T-02-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
 COMMENCING AT THE SOUTHWEST CORNER OF SECTION 35; THENCE N.87°33'17"E., 1684.46 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 (14 MILE ROAD) TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY (204 FEET WIDE); THENCE N.02°07'02"W., 358.99 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE S.87°11'49"W., 351.12 FEET; THENCE N.01°32'52"W., 570.43 FEET; THENCE N.87°52'58"E., 345.43 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY; THENCE S.02°07'02"E., 566.20 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING AND CONTAINING 4.543 ACRES.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
 (R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.
 PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

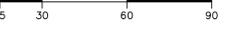
BENCH MARK DATA

(CITY OF TROY) DATUM
 CITY BENCH MARK NO. 2015
 SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
 ELEVATION=644.52'
 SITE BENCH MARK NO. 1
 ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
 ELEVATION=647.66'

NOTES:

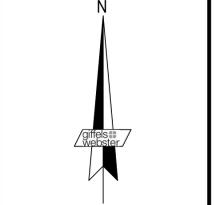
- TELEPHONE, ELECTRIC, AND CABLE TV UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 561 OF 704, MAP NUMBER 2612505061G, EFFECTIVE DATE JANUARY 16, 2009.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.

SCALE: 1"=30'



Executive: PM
 Manager: AW
 Designer: DRJK
 Quality Control:
 Section: 35
 T-2N R-11-E

Professional Seal



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION

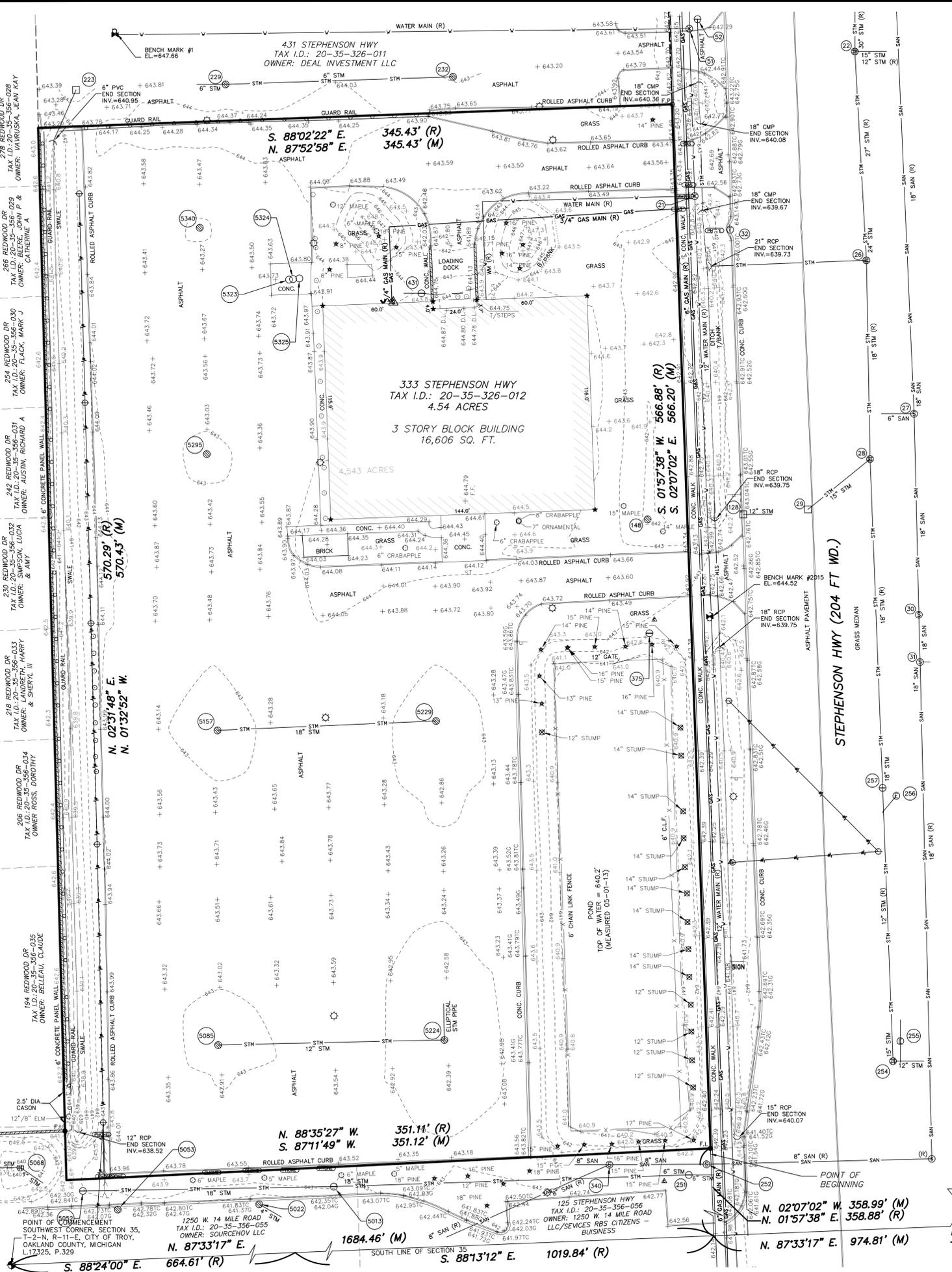
Developed For:
A&M HOSPITALITY
 24170 SHERWOOD AVE.
 CENTER LINE, MI 48015

(248)-255-5946

TOPOGRAPHIC SURVEY

TROY MARRIOTT HOTELS
 CITY OF TROY
 OAKLAND COUNTY
 MICHIGAN

Date: 05.03.2013
 Scale: 1"=30'
 Sheet: 02
 Project: 18452.00





LOCATION MAP
(NOT TO SCALE)

SITE PLAN DATA

PARCEL ID: 20-35-326-012
 PARCEL AREA: 4.54 ACRES
 BUILDING AREA - TOWNEPLACE SUITES: 16,196 SF
 BUILDING AREA - FAIRFIELD INN: 12,219 SF
 TOTAL BUILDING AREA: 28,415 SF

Executive:	PM
Manager:	AW
Designer:	DRJK
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal

ZONING

CURRENT: (O) OFFICE BUILDING DISTRICT
 PROPOSED: (OM) OFFICE MIXED USE

SETBACKS

FRONT	REQUIRED
SIDE	20 FT.
REAR	30 FT.
REAR	50 FT. SINGLE FAMILY RESIDENTIAL

BENCH MARK DATA

(CITY OF TROY) DATUM
 CITY BENCH MARK NO. 2015
 SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
 ELEVATION=644.52'

SITE BENCH MARK NO. 1
 ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
 ELEVATION=647.66'



PARKING REQUIREMENTS

- PARKING REQUIRED = 1 SPACE PER GUEST ROOM + 1 SPACE PER EMPLOYEE ON LARGEST TYPICAL SHIFT
- TOWNEPLACE SUITES = 89 ROOMS, 3 EMPLOYEES, 92 SPACES REQUIRED
- FAIRFIELD INN & SUITES = 91 ROOMS, 3 EMPLOYEES, 94 SPACES REQUIRED
- TOTAL SPACES REQUIRED = 186
- TOTAL SPACES PROVIDED = 195

DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION

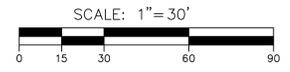
Developed For:
A&M HOSPITALITY
 24170 SHERWOOD AVE.
 CENTER LINE, MI 48015
 (248)-255-5946

SITE PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
 OAKLAND COUNTY
 MICHIGAN

Date:	05.03.2013
Scale:	1"=30'
Sheet:	03
Project:	18452.00



GENERAL NOTES:

ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRoACH UPON ADJUTING PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAN 20 FT. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.

ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.

ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.

CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF TROY STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNDAY TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE MAYOR OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO MISS DIG 1-800-482-7171 OR 811 THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF TROY SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CITY ENGINEERING DEPARTMENT TO SCHEDULE INSPECTION. THE CITY SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PROVIDE FIRE DEPARTMENT KEY BOX (KNOX BOX) PER CITY OF TROY STANDARDS.

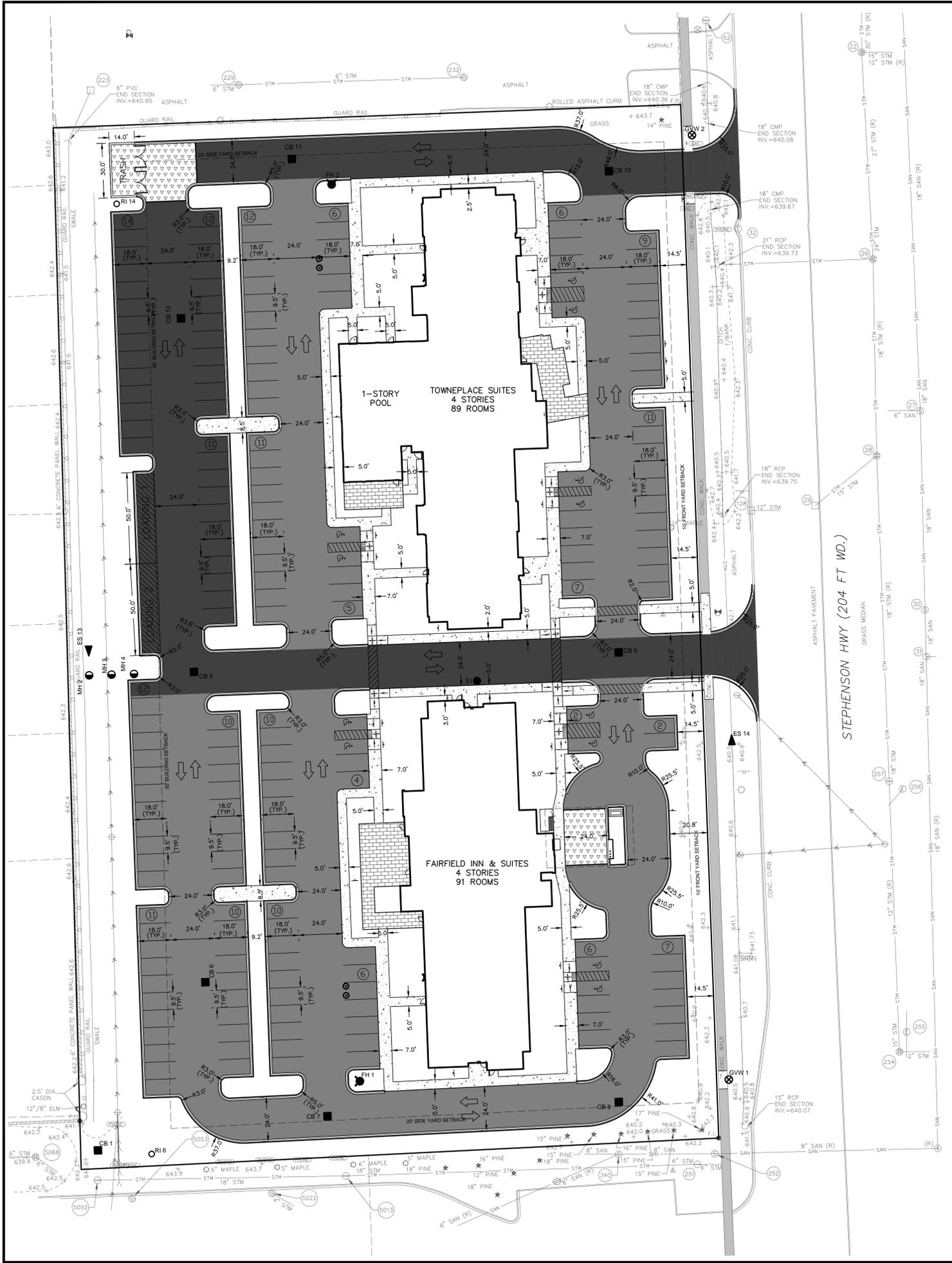
OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE EXCEPT WHERE INDICATED ON SITE PLAN.

MONITORING WELLS ON SITE ARE EXISTING AND IN PLACE DUE TO THE NATURE OF THE FORMER OCCUPANTS USE.

A TRASH ENCLOSURE, MEASURING A MINIMUM OF 10'X10' SHALL BE CONSTRUCTED OF SIX (6") HIGH BRICK EMBOSSED POURED CONCRETE WALLS WITH 45° ANGLE CAP. HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10'X18' CONCRETE PAD THAT PROVIDES AND 8' WIDE APRON. MASONRY BLOCK SHALL NOT BE USED AS A CONSTRUCTION MATERIAL.

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EX. CONCRETE WALK
- PROPOSED PATIO
- PROPOSED 4" CONCRETE
- PROPOSED 8" CONCRETE
- PROPOSED 18" CONCRETE CURB & STANDARD GUTTER
- PROPOSED 18" CONCRETE CURB & REVERSE GUTTER
- PARKING SPACE COUNT





LOCATION MAP
(NOT TO SCALE)

BENCH MARK DATA

(CITY OF TROY) DATUM
CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
ELEVATION=644.52'
SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

NOTE

- ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH CITY OF TROY SPECIFICATIONS
- PLEASE REFER TO STANDARD DETAIL SHEET DS-2a FOR STRUCTURE DETAILS.
- MAINTAIN A MINIMUM 10 FT HORIZONTAL AND 12 FT VERTICAL SEPARATION BETWEEN ALL UTILITIES WHEREVER POSSIBLE OR INSTALL CONCRETE COLLAR PER CITY STANDARDS.
- ALL NEW WATER SERVICE PIPE MATERIAL UP TO 2" IN DIAMETER SHALL BE TYPE K COPPER TUBING. LARGER SERVICES SHALL BE DUCTILE IRON PIPE.
- CLEAN OUTS IN PAVEMENT SHALL HAVE FRAME AND COVER THAT WITHSTANDS H-20 LOADING.



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UTILITY PLAN

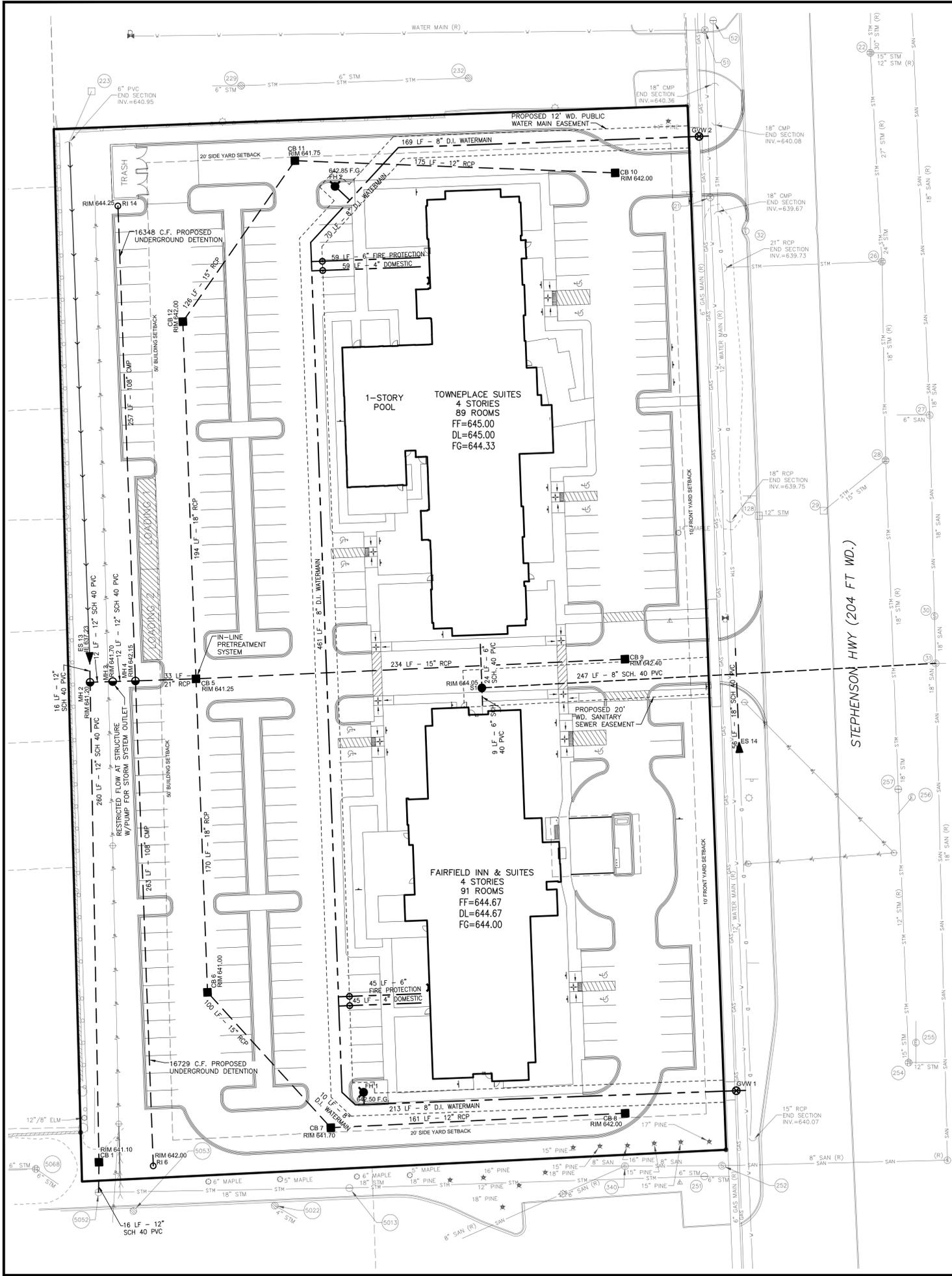
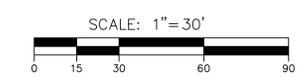
TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date: 05.03.2013
Scale: 1"=30'
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PROPOSED LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN



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LOCATION MAP
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BENCH MARK DATA

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CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST
SIDE OF STEPHENSON HIGHWAY +/- 650
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AND +/- 45 FEET EAST OF THE
NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

NOTE

SEE ARCHITECTS PLANS FOR
EXACT BUILDING DIMENSIONS AND
ELEVATIONS.

Executive:	PM
Manager:	AW
Designer:	DRJK
Quality Control:	
Section:	35
	T-2-N R-11-E

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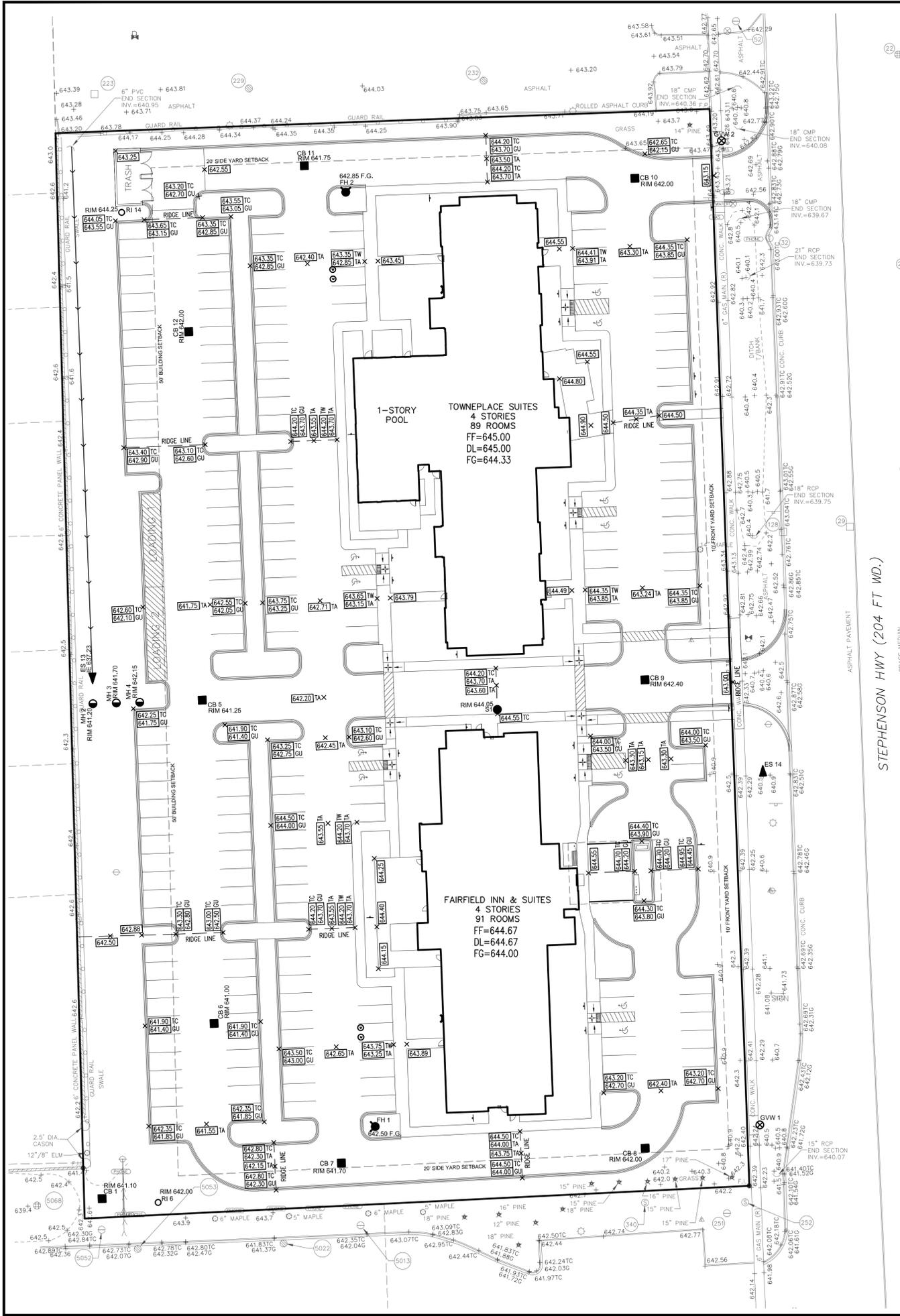
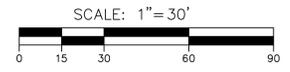
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GRADING PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

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LEGEND

- 6" CONCRETE CURB & GUTTER
- 6" CONCRETE CURB & REVERSE GUTTER
- RIM 1035.40 PROPOSED RIM ELEVATION
- ADJ. RIM 1035.40 ADJUST EXISTING RIM ELEVATION
- +1036.10 GU PROPOSED GUTTER ELEVATION
- +1036.10 TA PROPOSED TOP OF ASPHALT ELEVATION
- +1036.10 F.G. PROPOSED FINISHED GRADE
- +1036.10 DROP PROPOSED DROPPED FINISHED GRADE ELEVATION
- +1036.10 D.L. PROPOSED DOOR LEDGE ELEVATION
- +1036.10 TW PROPOSED TOP OF WALK ELEVATION
- +1036.10 TC PROPOSED TOP OF CURB ELEVATION
- RIM=1036.10 EXISTING RIM ELEVATION
- + 1037.28G EXISTING GUTTER ELEVATION
- + 1037.80TC EXISTING TOP OF CURB ELEVATION
- RIDGELINE
- DRAINAGE ARROW
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- RE-DITCHED SWALE

STEPHENSON HWY (204 FT WD.)



LOCATION MAP
(NOT TO SCALE)

LANDSCAPE BUFFER PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	54	NORWAY SPRUCE	PICEA ABIES	8' HT. BB	NS

ROAD FRONTAGE PLANT LIST:

SHRUBS:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	89	FRAGRANT SUMAC	RHUS AROMATICA	C #3	SUM

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	13	LONDON PLANE TREE	PLATANUS X ACERIFOLIA	2-1/2" CAL. BB	LP

PARKING LOT PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	8	SWEETGUM	LIQUIDAMBAR STYRACIFLUA	2-1/2" CAL. BB	SG
	9	TULIP TREE	LIRIODENDRON TULIPIFERA	2-1/2" CAL. BB	TU
	8	RED MAPLE	ACER RUBRUM	2-1/2" CAL. BB	RM

195 PARKING SPACES / 8 PER PARKING LOT TREE = 24 TREES

PLANT NOTES:

- PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 + A300 2004).
- PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED TOPSOIL. TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL AND PERENNIAL BEDS, APPLY A PRE-EMERGENT (PREEN OR EQUAL) AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
- PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. SAUCER SHALL BE MADE ON THE EDGES OF THE PLANTING POCKET.
- ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
- MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIAL AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
- TREES SHALL BE MULCHED WITH A MIN. OF 3" DEEP HARDWOOD BARK MULCH AROUND THE PLANTS.
- GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNDESIRABLE NATIVE GRASSES. SEEDED AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
- PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE, IN WRITING, A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASONS.
- REMOVE TOP 1/3 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
- PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE COUNTY COOPERATIVE EXTENSION SERVICE.

GENERAL NOTES:

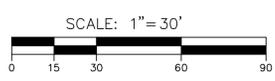
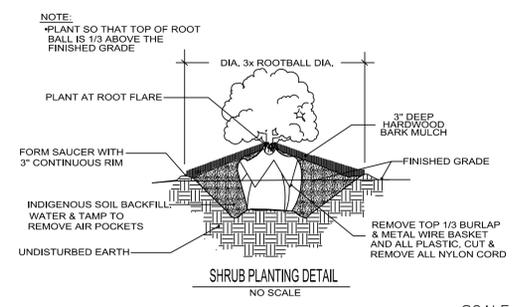
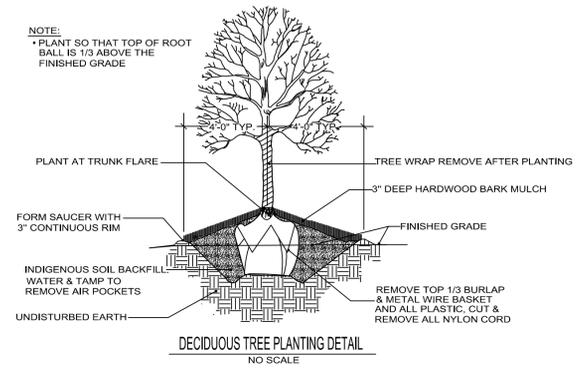
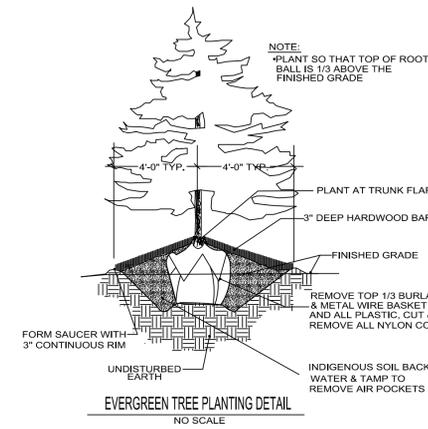
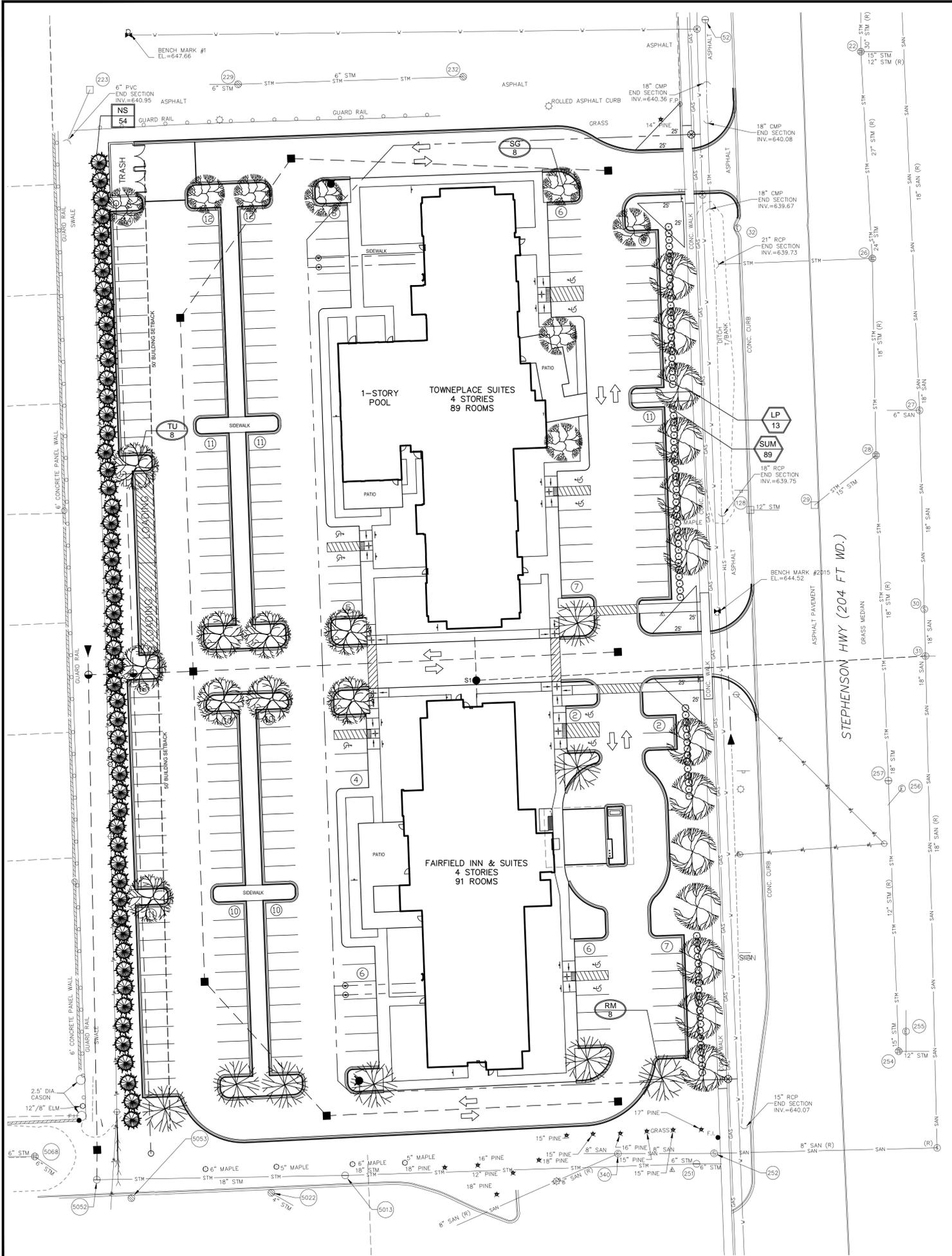
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
- ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON CONSTRUCTION SHALL BE SEEDED OR SODDED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
- ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE PLACED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.
- A TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE LANDSCAPE ARCHITECT. THE BUILDING DEPARTMENT WILL NOT RELEASE THE CONSTRUCTION BONDS UNTIL THE TOWNSHIP APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF THE LANDSCAPE PLANS. FINAL BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND THE FINAL INSPECTION IS MADE.
- THE OWNER IS THE RESPONSIBLE FOR CARE AND MAINTENANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLAN. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.

LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIALS, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD". THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.

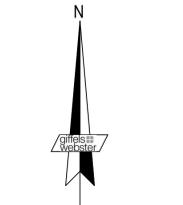
LAWN SEED MIX:

- 30% PERENNIAL RYGRASS
 - 20% PARK KENTUCKY BLUEGRASS
 - 45% CREEPING RED FESCUE
 - 5% ANNUAL RYGRASS
- 4*/1000 S.F. SEEDING RATE



Executive:	PM
Manager:	AW
Designer:	DRUK
Quality Control:	
Section:	35
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Professional Seal:



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LANDSCAPE PLAN

TROY MARRIOTT HOTELS

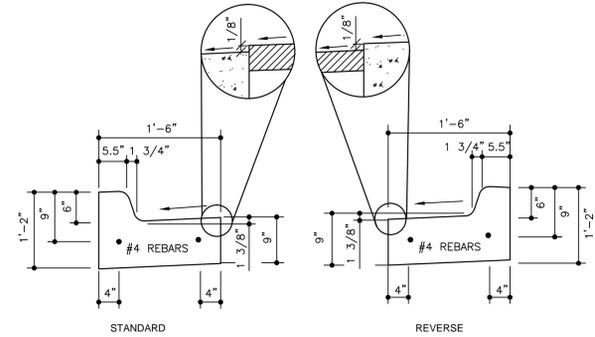
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MICHIGAN

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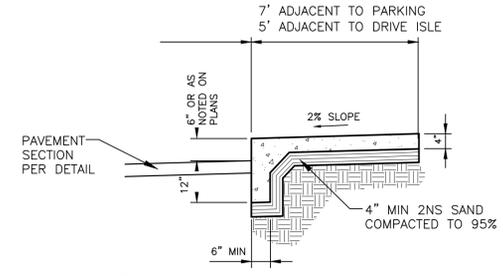
Executive:	PM
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Section:	35
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18" CONCRETE CURB & GUTTER
NOT TO SCALE

NOTE:
USE MDOT 35P CONCRETE-TYPICAL ALL C&G.
REFERENCE MDOT DETAIL II-30D TYPE F4.



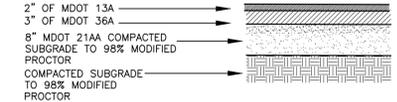
6" INTEGRAL CONCRETE CURB & WALK
NOT TO SCALE

NOTE:
USE 8" CONCRETE WALK IF WITHIN DRIVE APPROACH,
INTERSECTION OR CALLED OUT ON PLANS. PLACE 2NS
SAND AS REQUIRED TO OBTAIN GRADE AND COMPACT
TO 95% MODIFIED PROCTOR.



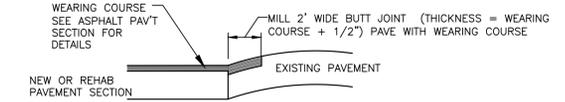
STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.

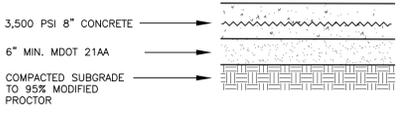


HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

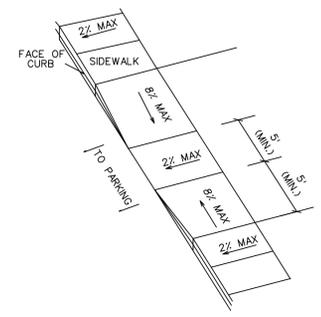
NOTE:
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3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.



BUTT JOINT
NOT TO SCALE

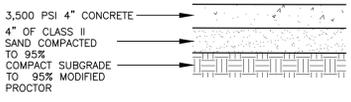


8" REINFORCED CONCRETE SLAB
NOT TO SCALE

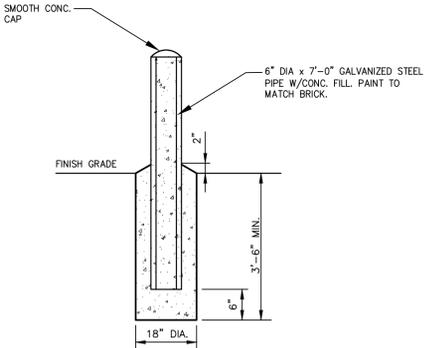


BARRIER FREE RAMP DETAIL (R-28-F, TYPE P)
NOT TO SCALE

NOTE:
ALL BARRIER FREE RAMPS TO BE
6" THICK CONCRETE

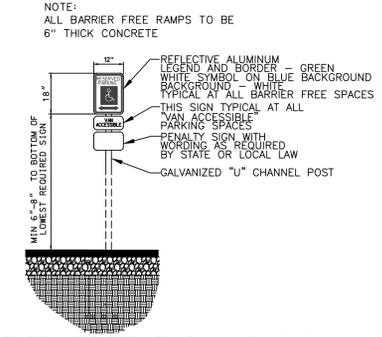


4" CONCRETE SIDEWALK
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

NOTES:
SEE PLAN FOR LOCATIONS



BARRIER FREE PARKING SIGN IN GREENBELT

(DETAIL ALSO TO BE FOLLOWED FOR ALL OTHER TRAFFIC CONTROL SIGNAGE)
ONE AT EACH BARRIER FREE SPACE.
WHERE BARRIER FREE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES



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NOTES AND DETAIL SHEET

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

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